

APPENDIX K

PHOTOGRAPH RECORD



Target Property 1 - Photo 01 - Overview of Property from East



Target Property 1 - Photo 02 - Pad-Mounted Transformer



Target Property 2 - Photo 01 - Overview of Property from East



Target Property 2 - Photo 02 - Overview of Property from South



Target Property 2 - Photo 03 - Pad-Mounted Transformer



Target Property 2 - Photo 04 - Pad-Mounted Transformer



Target Property 2 - Photo 05 - Dumping of Non-Hazardous Debris



Target Property 2 - Photo 06 - Dumping of Non-Hazardous Debris



Target Property 2 - Photo 07 - Dumping of Non-Hazardous Debris



Target Property 3 - Photo 01 - Overview of Property from East



Target Property 3 - Photo 02 - Overview of Property from West



Target Property 3 - Photo 03 - Overview of Merchants from the West



Target Property 3 - Photo 04 - Overview of Quick Lube from West



Target Property 3 - Photo 05 - Pad-Mounted Transformer and Storage Containers



Target Property 3 - Photo 06 - Storage Containers



Target Property 3 - Photo 07 - Dumping of Non-Hazardous Debris



PHASE II ENVIRONMENTAL SITE ASSESSMENT

**Montgomery County Airpark Parcels
18810 Woodfield Road
Gaithersburg, Maryland**



Prepared for:

Delta Airport Consultants
9711 Farrar Court, Suite 100
Richmond, Virginia 23236

Prepared by:



**Chesapeake Environmental
Management, Inc.**
42 N. Main Street
Bel Air, Maryland 21014



**JULY 2016
REVISED: AUGUST 2016**

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Montgomery County Airpark Parcels
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EXECUTIVE SUMMARY

Chesapeake Environmental Management, Inc. (CEM) performed a Phase II Environmental Assessment (ESA) at the Gold's Gym located at 18810 Woodfield Road (previously identified as Target Property #2 in the Phase I ESA (CEM 2016)). The site is located along the southeastern border of the Montgomery County Airpark in Gaithersburg, Maryland (herein referred to as the "Target Property" and presented as **Figure 1**). The overview of the Target Property and the sampling locations are presented as **Figure 2**.

This Phase II ESA was performed in accordance with the procedures of the American Society for Testing and Materials (ASTM), *Standard Practice for Environmental Site Assessments: Phase II Environmental Site Assessment Process* (ASTM Standard E1903-11). The Phase II ESA field investigation activities occurred on June 15, 2016.

A Phase I ESA was performed on the property in June 2016 that included a review of historic environmental documentation, interviews, and site reconnaissance of the Site. No Recognized Environmental Conditions (RECs) were identified at the Target Property during the Phase I ESA investigation.

CEM understands that the Montgomery County Airpark proposes to acquire the Target Property and raze the existing structures to facilitate the proposed construction activities associated with the most recent Federal Aviation Administration (FAA) requirements. The purpose of this Phase II ESA was to assess whether there has been a release of hazardous substances at the Target Property that may be encountered during the construction process. The information collected during the Phase II ESA will also assist in characterizing subsurface contamination, creating impacted material handling plans, and mitigating possible exposure scenarios for onsite excavation.

The Phase II ESA included collecting soil samples from six locations at the Target Property (**Figure 2**) using an AMS PowerProbe 9100 All-Terrain Vehicle (ATV) rig. Borings were advanced to a depth of 10 feet below ground surface (bgs) based on the maximum depth of excavation anticipated during the construction activities. Groundwater was not encountered during this subsurface investigation in any of the borings advanced at the Target Property.

Six subsurface soil samples were collected and submitted to Maryland Spectral Services to be analyzed for the following:

- Total Petroleum Hydrocarbons Diesel-Range Organics (TPH-DRO)
- Total Petroleum Hydrocarbons Gasoline-Range Organics (TPH-GRO)
- Resource, Conservation, and Recovery Act (RCRA) Metals
- Volatile Organic Compounds (VOCs)
- Semi-Volatile Organic Compounds (SVOCs)
- Polychlorinated Biphenyls (PCBs)

Based on the results of this investigation, concentrations of arsenic in the soils exceeded the Maryland Department of the Environment (MDE) non-residential cleanup standard of 1.9 mg/kg in two of the six samples submitted for analysis (SB-2 and SB-5). None of the reported concentrations of arsenic exceeded the United State Geologic Society (USGS) Anticipated Typical Concentration (ATC) of 4.9 mg/kg for central Maryland. Reported concentrations of VOCs, RCRA Metals, and TPH-DRO were reported above the laboratory method reporting limits but below their respective MDE non-residential cleanup standards.

Construction through contaminated areas will be subject to regulatory requirements for appropriate management and disposal of contaminated materials to protect workers and the public. Existing buildings will be demolished and the Target Property will be regraded to accommodate anticipated construction activities.

Based on the findings of this Phase II ESA, CEM recommends the following:

1. According to the analytical results obtained from the sampling event, the soils currently at the Target Property can remain in place. Although the reported concentrations of arsenic exceed the MDE non-residential cleanup standard, the concentrations are consistent with the ATC for arsenic in Central Maryland and are indicative of naturally occurring sources (rather than anthropogenic contamination).
2. Dust control measures and monitoring should be implemented during construction activities to reduce incidental inhalation exposure from potentially impacted soil particles to onsite workers and the surrounding community.
3. If soils need to be disposed off-site as part of the proposed construction activities, the analytical results should be provided to the disposal facility to ensure acceptance of the materials, based on the permit requirements of the receiving facility.

1.0 INTRODUCTION

1.1 Purpose

This Phase II Environmental Site Assessment (ESA) was conducted at the Gold's Gym located at 18810 Woodfield Road, Gaithersburg, Maryland (referred to as the "Target Property" and presented as **Appendix B – Figure 1**) to assess whether there has been a release of hazardous substances at the Target Property that may be encountered during construction activities.

This Phase II ESA was performed in accordance with the procedures of the American Society for Testing and Materials (ASTM), Standard Practice for Environmental Site Assessments: Phase II Environmental Site Assessment Process (ASTM Standard E1903-11). The Phase II ESA field investigation activities occurred on June 15, 2016.

A Phase I ESA was previously performed for the Target Property in June 2016 that included a review of historic environmental documentation, interviews, and site reconnaissance of the Target Property. No Recognized Environmental Conditions (RECs) associated with the Target Property were identified during the Phase I ESA investigation.

CEM understands that the Montgomery County Airpark proposes to acquire the Target Property and raze the existing structures to facilitate the proposed construction activities associated with the most recent Federal Aviation Administration (FAA) requirements. The information collected during the Phase II ESA will assist in characterizing subsurface contamination, creating impacted material handling plans, mitigating possible exposure scenarios for onsite excavation, and controlling offsite contaminant exposure. The scope of this investigation excludes any determination of the source of impact, if any, on the property due to the release of contaminants of concern (COCs) into soils or groundwater.

1.2 Scope-of-Services

This Phase II ESA evaluates current site conditions with respect to potential impacts to soil or groundwater from petroleum products or other hazardous substances. The investigation is limited to the Target Property boundaries presented in **Appendix B – Figure 2**.

The Phase II ESA included the mobilization of a field crew for the collection of subsurface samples. Following the collection of the soil samples, the samples were transported under standard chain-of-custody handling procedures to a certified laboratory for analysis.

1.3 Significant Assumptions

This Phase II ESA was prepared using information obtained from and/or provided by the following sources:

- Phase I Environmental Site Assessment, Montgomery County Airpark Parcels (CEM 2016)
- Environmental Data Resources (EDR) Report (contained within the Phase I ESA)

For purposes of this report, the information obtained through the listed methods is assumed valid and accurate as provided. CEM has not verified the completeness or accuracy of the information provided by others, unless specifically noted. The field observations were based upon conditions readily visible at the Target Property at the time of the investigation.

The PowerProbe direct-push coring method was limited to unconsolidated soils and sediments. When bedrock or very stiff soils were encountered and could not be effectively penetrated, refusal was determined by the driller.

Changes at the Target Property over time, the manifestation of latent conditions, or changes to existing codes and regulations may alter the conclusions and recommendations of this report. If additional

information becomes available that may affect these conclusions and recommendations, CEM reserves the opportunity to review the information and modify the report.

1.4 Limitations and Exceptions

Based upon the scope-of-services, the locations and number of samples collected and analyzed do not represent a complete assessment of the entire property. The soil boring locations were selected within the Target Property boundaries and based on historical onsite activities, regulatory documentation, and previous observations made during the Phase I ESA investigation. These locations may have been adjusted in the field to avoid known underground utilities identified by the owner or encountered during the underground utility locating activities, as well as minimize interruption to daily business operations.

The Phase II ESA report was prepared in accordance with ASTM Standard E1903-11, and the standard limitations apply. The absence of recognized environmental conditions or contamination recognition in this report cannot be interpreted as a warranty, expressed or implied, that no contamination exists at the Target Property. Accordingly, this Phase II ESA does not purport to describe all environmental risks affecting the Target Property, nor will any additional investigation determine as a matter of certainty that all environmental risks affecting the Target Property have been identified.

None of the work performed shall constitute or be represented as a legal opinion of any kind or nature, but shall be a representation of findings of fact from the results of the assessment.

1.5 User Reliance

The Phase II ESA has been prepared for the exclusive use of Delta Airport Consultants (DAC). The assessment was conducted in accordance with generally accepted environmental standards and practices as defined by ASTM E1903-11. No other warranty, expressed or implied, is made.

CEM acknowledges that DAC will provide a copy of this report to the Montgomery County Airpark as part of the due diligence process associated with the proposed construction activities to be performed at the Target Property. Other than DAC and Montgomery County Airpark, this report is not for the use or benefit of, nor may it be relied upon by, any other person or entity without the advance written consent of CEM.

2.0 SITE DESCRIPTION AND PHYSICAL SETTING

2.1 Location and Legal Description

The Target Property is located within Montgomery County, Maryland. The Target Property to be acquired by the Montgomery County Airpark is approximately 1.66 acres in area and is zoned for commercial usage (**Appendix B - Figure 2**).

2.2 Physical Setting

2.2.1 Geology

Review of the Geologic Map of Maryland, Montgomery County (compiled by the Maryland Geological Survey (MGS) and dated 1968), indicates that the Target Property is underlain by the Late Precambrian age Upper Pelitic Schist, which is described as *“Albite-chlorite-muscovite-quartz schist with sporadic thin beds of laminated micaceous quartzite; coarsens form west to east; primary sedimentary structures include normal bedding, graded bedding, and soft-sediment deformational structures”* with an apparent thickness of 14,000 feet.

According to the 2008 Physiographic Map of Maryland, the Target Property is characterized by the Hampstead Upland District, which is characterized by *“rolling to hilly uplands interrupted by steep-*

walled gorges. Differential weathering of adjacent, contrasting lithologies produces distinctive ridges, hills, barrens, and valleys. Streams may have short segments of narrow, steep-sided valleys."

2.2.2 Soils

According to the Soil Conservation Service (SCS), a division of the United States Department of Agriculture (USDA), the Target Property is underlain predominately by the Glenelg silt loam. Glenelg silt loam consists of well-drained soils with moderately coarse textures and moderate infiltration rates.

The soils located at the Target Property are characterized by 3 to 8 percent slope; however, drainage and infiltration rates vary and are dependent upon local surface features and stormwater management devices.

Relative densities of the subsurface material observed during the Phase II soil classification activities were moderately dense to dense.

2.2.3 Wetlands

According to the reviewed National Wetland Inventory Maps (NWI), there are no mapped wetlands on the Target Property or in the immediate vicinity.

2.2.4 Floodplain

According to Flood Insurance Rate Map (FIRM) panel 24031C0191D, the Target Property is listed as being in Zone X. Zone X is described as, "areas determined to be outside the 0.2% annual chance floodplain," by the Federal Emergency Management Agency (FEMA).

2.2.5 Hydrology

The average depth to groundwater across the Target Property is anticipated to be greater than 10 feet below ground surface (bgs). Based on topography and local hydrologic features, groundwater flow direction is anticipated to be to the west-northwest towards Cabin Branch.

2.3 Site and Vicinity General Characteristics

The Target Property is located along Woodfield Road in a commercial area of Gaithersburg, Maryland. The Target Property is bounded by the Montgomery County Airpark to the south and west, commercial buildings to the north and east.

2.4 Phase I ESA Findings

CEM had previously prepared a Phase I ESA for the properties associated with the Montgomery County Airpark in July 2011 and an updated Phase I ESA in August 2016. Both investigations identified potential soil contamination at the Target Property associated with an unlabeled transformer and the historical land usage of the site as a former printing shop.

3.0 SITE INVESTIGATION

3.1 Scope of Assessment

This Phase II ESA included an onsite subsurface boring and sampling investigation localized within the Target Property boundaries to determine if any potential contaminants will be encountered during construction activities.

3.2 Utility Avoidance Clearance

The soil boring locations were selected based on historical onsite activities, regulatory documentation, and previous observations during the Phase I ESA investigation. Additionally, the owner was consulted about the proposed sampling locations (prior to initiating the drilling activities) to avoid known underground utilities (identified by the owner) and to minimize any interruptions to daily business operations. The soil borings were advanced using an AMS PowerProbe 9100 ATV drill rig operated by CEM.

Prior to commencement of onsite activities, the following arrangements were made:

- Site access was coordinated with the property owner and site manager to minimize disruption of ongoing operations.
- Underground utilities were identified, marked and confirmed with Miss Utility and an independent utility scan subcontractor.

3.3 Borings, Screening and Sampling

CEM's driller advanced six subsurface borings and collected six subsurface soil samples on June 15, 2016. The sampling locations are presented in **Appendix B - Figure 2**.

At each boring location, a 1.5-inch diameter sampler was advanced vertically into the soil to 10 feet bgs. Each recovered soil core was retained in a 4-foot long, non-reactive, clear plastic liner that allowed the sample to be removed intact from the PowerProbe direct-push rig.

Upon recovery of the sample from the borehole, the liner was split to expose the sample. CEM's geologist classified the soil type using the Unified Soil Classification System (USCS) and all observed soil descriptions are presented in **Appendix C – Soil Boring Logs**. Samples were collected from the liners and unused soils were returned to the boring hole and compacted. The remainder of the borehole was filled with highly expansive bentonite clay chips to prevent surface water run-off from using the boring as a conduit to reach groundwater. The surface was restored to the condition prior to drilling with like materials surrounding the borehole (asphalt or soil).

Sections of the soil samples that were being analyzed for TPH-GRO and VOCs were immediately prepared and transferred to laboratory-provided containers, consistent with EPA Method 5035. The remaining core sections from each interval identified for sampling were composited in a Ziploc® bag. Potential soil vapors were allowed to equilibrate inside the bag for 10 to 20 minutes. Field headspace screenings were conducted using an RAE Systems MiniRAE 3000 PID equipped with a 10.6 eV Krypton ionization lamp. Maximum PID headspace readings for each interval were recorded in the field notes. Following the headspace screening, soil samples selected for analysis were transferred to laboratory provided containers for analysis. All soil samples were labeled with the boring location ID and the depth at which that sample was collected (e.g. SB-2 (2-6')).

Soil samples were selected for laboratory analysis based on anticipated construction excavation depths. All soil samples were taken from a 2 to 6 feet bgs range. Groundwater was not encountered in any of the soil borings advanced at the Target Property.

The soil descriptions, PID readings, and the laboratory sample identifications are documented in the soil boring logs presented in **Appendix C**. Photographs taken during the Phase II sampling activities are presented in **Appendix D**.

3.4 Laboratory Analysis

All samples were packed on ice inside an insulated cooler and maintained at an approximate temperature of 4°C. The samples were delivered under standard chain-of-custody documentation to Maryland Spectral Services at 1500 Caton Center Drive, Suite G, in Baltimore, Maryland for the following analyses:

- Total Petroleum Hydrocarbons Diesel-Range Organics (TPH-DRO) according to EPA Method 8015B
- Total Petroleum Hydrocarbons Gasoline-Range Organics (TPH-GRO) according to EPA Method 8015B
- Resource, Conservation, and Recovery Act (RCRA) Metals according to EPA Method 6010 (analysis included arsenic, barium, cadmium, chromium, lead, mercury, selenium, and silver)
- Volatile Organic Compounds (VOCs) according to EPA Method 8260B
- Semi-Volatile Organic Compounds (SVOCs) according to EPA Method 8270D
- Polychlorinated Biphenyls (PCBs) according to EPA Method 8082

Laboratory analytical reports are provided in **Appendix E**.

3.5 Quality Assurance/Quality Control

The following procedures were used to prevent cross contamination between samples in the field:

- New AMS PowerProbe core liners were used for each 4-foot sample interval.
- New nitrile gloves were donned before handling each sample interval.
- New Ziploc bags were used for each sample interval preparation.
- Sample rods were decontaminated upon completion of each sampling location.

In addition, the following quality control samples were collected:

- One trip blank sample was submitted to the lab for VOC analysis to identify errors or contamination in sample collection or analysis.

4.0 ANALYTICAL RESULTS

Analytical results from the soil sampling activities are presented in **Appendix F** of this report, which summarizes the concentrations of compounds reported above the laboratory method reporting limits. The complete laboratory analytical reports for the Phase II ESA are attached as **Appendix E**. All reported soil concentrations have been compared to MDE non-residential clean-up standards.

The significant soil findings are as follows:

- VOC and TPH-DRO concentrations were reported above the laboratory method reporting limit in one of the soil samples submitted (SB-1). However, the concentrations did not exceed their respective MDE non-residential cleanup standards.
- Metals were reported in all of the soil samples submitted for analysis.
 - Arsenic concentrations ranged from 0.856 mg/kg (SB-4) to 2.62 mg/kg (SB-2). Two of the reported concentrations exceeded the MDE non-residential standard for arsenic of 1.9 mg/kg (2.62 mg/kg in the sample collected from SB-2 and 1.94 mg/kg in the sample collected from SB-5). However, the concentrations of arsenic reported in these two samples did not exceed the USGS Anticipated Typical Concentration (ATC) concentration for arsenic in Central Maryland of 4.9 mg/kg, indicating that the reported concentrations are consistent with naturally occurring conditions, and are not indicative of contamination.

- There were no other concentrations of metals reported that exceeded their respective MDE non-residential cleanup standard.
- TPH-GRO, SVOC, and PCB concentrations were not reported above the laboratory method reporting limits in any of the samples submitted for analysis.

5.0 INVESTIGATION SUMMARY

The purpose of this Phase II ESA was to assess whether there has been a release of hazardous substances at the Target Property that may be encountered during the construction process.

5.1 Conclusions

This investigation identified reported concentrations of arsenic in the soils exceeding the MDE non-residential cleanup standard (1.9 mg/kg) in two of the six samples submitted for analysis (SB-2 and SB-5). None of the reported concentrations of arsenic exceeded the ATC concentration of 4.9 mg/kg for central Maryland. Reported concentrations of VOCs and TPH-DRO were reported above the laboratory method reporting limits but below their respective MDE non-residential cleanup standards.

5.2 Recommendations

Based on the findings of this Phase II ESA, CEM recommends the following:

- According to the analytical results obtained from the sampling event, the soils currently at the Target Property can remain in place. Although the reported concentrations of arsenic exceed the MDE non-residential cleanup standard, the concentrations are consistent with the ATC for arsenic in Central Maryland and are indicative of naturally occurring sources (rather than anthropogenic contamination).
- Dust control measures and monitoring should be implemented during construction activities to reduce incidental inhalation exposure from potentially impacted soil particles to onsite workers and the surrounding community.
- If soils need to be disposed off-site as part of the proposed construction activities, the analytical results should be provided to the disposal facility to ensure acceptance of the materials, based on the permit requirements of the receiving facility.

6.0 REFERENCES

- CEM. (2016). Phase I Environmental Site Assessment, Montgomery County Airpark Parcels 18800, 18810, and 18820 Woodfield Road, Gaithersburg, Maryland.
- ASTM. (2011). Designation E 1903-11, Standard Practice for Environmental Site Assessments: Phase II Environmental Site Assessment Process. West Conshohocken, PA: American Society for Testing and Materials.
- MDE. (2008). Cleanup Standards for Soil and Groundwater – Interim Final Guidance. Baltimore, MD: Maryland Department of the Environment.
- USGS Mineral Resources On-Line Spatial Data [<http://mrddata.usgs.gov/geology/state/sgmc-unit.php?unit=MDwlp;4>].
- USDA Natural Resources Conservation Service On-Line Soil Mapper [<http://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>].
- FEMA Flood Insurance Rate Map (FIRM) panel 24031C0460D. Federal Emergency Management Administration. 1996.

APPENDIX A

LIST OF ACRONYMS

LIST OF ACRONYMS

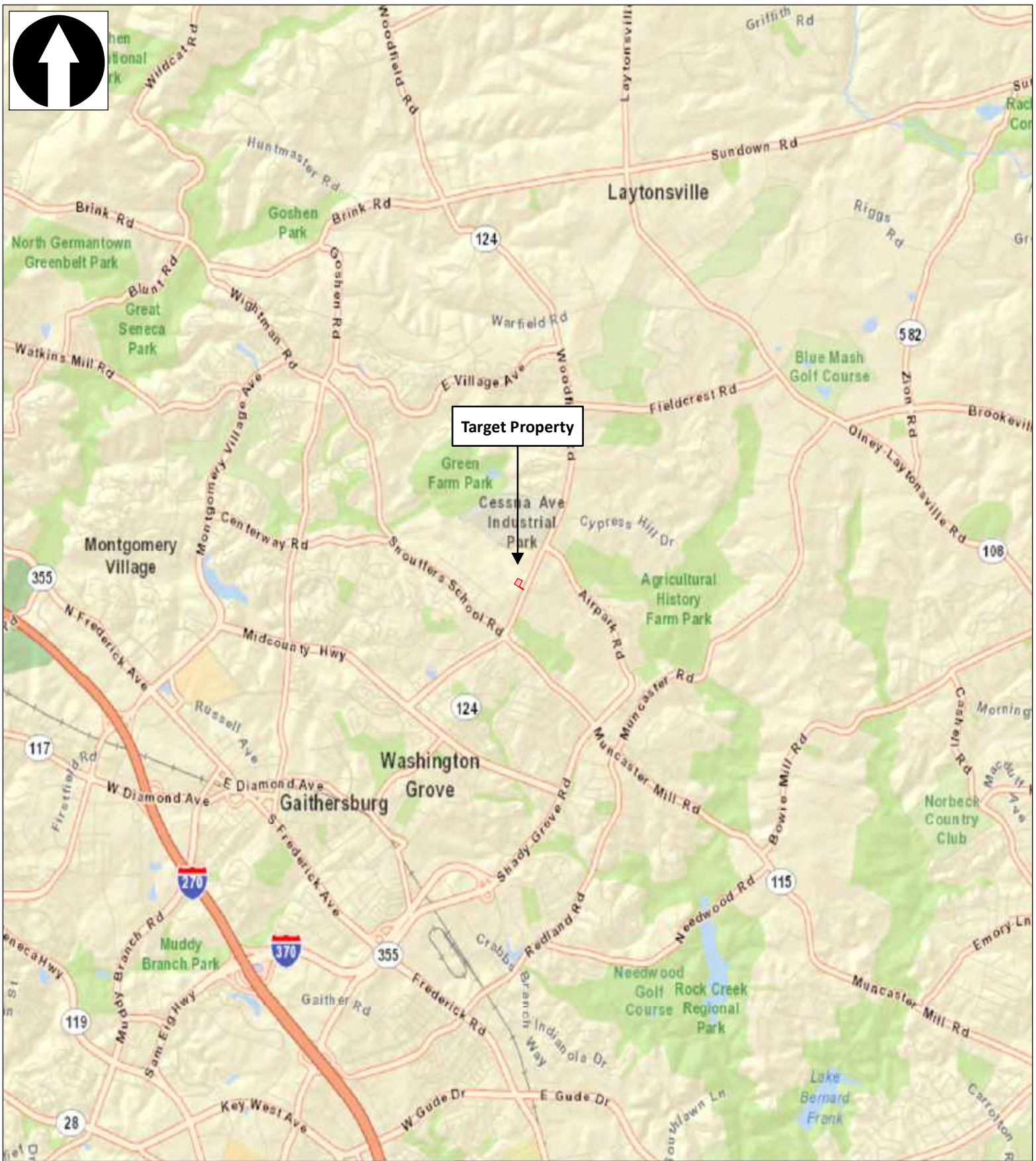
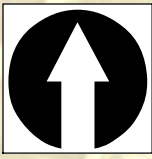
AMSL	Above Mean Sea Level	MDE	Maryland Department of the Environment
ASTM	American Society for Testing and Materials	MGS	Maryland Geological Survey Service
ATC	Anticipated Typical Concentration	NWI	National Wetland Inventory
ATV	All-Terrain Vehicle	OCF	Oil Control Program
BGS	Below Ground Surface	PCB	Polychlorinated Biphenyls
CEM	Chesapeake Environmental Management, Inc.	PIA	Public Information Act
CERCLA	Comprehensive Environmental Response, Compensation, and Liability Act of 1980	PID	Photo-Ionization Detector
COC	Contaminants of Concern	RCRA	Resource Conservation and Recovery Act of 1976
DAC	Delta Airport Consultants	REC	Recognized Environmental Condition
DRO	Diesel Range Organics	SCS	Soil Conservation Service
EDR	Environmental Data Resources, Inc.	SVOC	Semi-Volatile Organic Compounds
EPA	Environmental Protection Agency	TPH	Total Petroleum Hydrocarbons
ESA	Environmental Site Assessment	USDA	United States Department of Agriculture
FAA	Federal Aviation Administration	USCS	United Soil Classification System
FEMA	Federal Emergency Management Agency	USGS	United States Geological Survey
FIRM	Flood Insurance Rate Map	UST	Underground Storage Tank
FOIA	Freedom of Information Act	VOC	Volatile Organic Compounds
GRO	Gasoline Range Organics		

APPENDIX B


FIGURES

Figure 1 – Target Property Location Map

Figure 2 – Target Property Overview Map



LEGEND:

 Target Property (Phase I ESA Target Property #2)



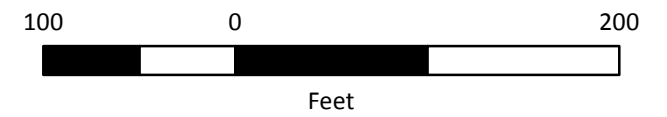
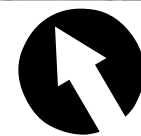
PHASE II ENVIRONMENTAL SITE ASSESSMENT
Montgomery County Airpark Parcels
18810 Woodfield Road, Gaithersburg, Maryland

Map Title:
Figure 1
Target Property Location Map

Data Source:
ESRI

Date: July 2016

Scale: 1" = 0.5 mile



- LEGEND:**
- Target Property Boundary
 - Adjacent Parcel Boundary
 - Soil Boring Locations



<p>PHASE II ENVIRONMENTAL SITE ASSESSMENT Montgomery County Airpark Parcels 18810 Woodfield Road, Gaithersburg, Maryland</p>	
<p>Map Title: Figure 2 Target Property Overview Map</p>	
<p>Data Source: ESRI Site Inspection Data</p>	<p>Date: July 2016 Scale: 1"=100'</p>

APPENDIX C
SOIL BORING LOGS

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-1

Sheet No.: 1 of 1

Drilling: Start Finish

1140 1205

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/24	SB-1 (2-6')	0.0	1	ML	0" - 6" - Asphalt/Base 6" - 4' - Red/Brown SILT, trace Clay, dense, dry.
		0.0	2		
		0.0	3		
		0.0	4		
48/48	SB-1 (2-6')	0.0	5	ML	4' - 8' - Red SILT, trace Clay, trace fine to medium Sand, dense, dry; 1cm black bands present.
		0.0	6		
		0.0	7		
		0.0	8		
24/0	SB-1 (2-6')		9		8' - 10' - NO RECOVERY
			10		
			11		End PID Screening
			12		
	SB-1 (2-6')		13		
			14		
			15		
			16		
	SB-1 (2-6')		17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit < 50%
 MH - silt of high plasticity, elastic silt, liquid limit > 50%
 CH - clay of high plasticity, fat clay, liquid limit > 50%
 OH - organic clay or organic silt with liquid limit > 50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 2-6 feet below ground surface at 1155.

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-2

Sheet No.: 1 of 1

Drilling: Start Finish

1105 1135

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/24	SB-2 (2-6')	0.0	1	ML	0" - 6" - Asphalt/Base 6" - 4' - Yellow/Brown SILT, trace Clay, dense, dry.
		0.0	2		
		0.0	3		
		0.0	4		
48/36		0.0	5	ML	4' - 8' - Red/Brown SILT, trace Clay, trace fine Sand, dense, dry.
		0.0	6		
		0.0	7		
		0.0	8		
24/24		0.0	9	ML	8' - 10' - Red/Brown SILT, trace Clay, trace fine Sand; 1cm black bands present.
		0.0	10		
			11		End PID Screening
			12		
			13		
			14		
			15		
			16		
			17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit < 50%
 MH - silt of high plasticity, elastic silt, liquid limit > 50%
 CH - clay of high plasticity, fat clay, liquid limit > 50%
 OH - organic clay or organic silt with liquid limit > 50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 2-6 feet below ground surface at 1120.

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-3

Sheet No.: 1 of 1

Drilling: Start Finish

1350 1410

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/36	SB-3 (2-6')	0.0	1	ML	0" - 6" - Asphalt/Base
		0.0	2		6" - 4' - Yellow/Brown SILT, some fine to medium Sand, trace Clay, dense, dry.
		0.0	3		
		0.0	4		
48/36		0.0	5	ML	4' - 8' - Red/Brown SILT, trace Clay, trace fine to medium Sand, dense, dry.
		0.0	6		
		0.0	7		
		0.0	8		
24/24		0.0	9	ML	8' - 10' - Red/Brown SILT, trace Clay, trace fine to medium Sand, dense, dry.
		0.0	10		
			11		End PID Screening
			12		
			13		
			14		
			15		
			16		
			17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit < 50%
 MH - silt of high plasticity, elastic silt, liquid limit > 50%
 CH - clay of high plasticity, fat clay, liquid limit > 50%
 OH - organic clay or organic silt with liquid limit > 50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 2-6 feet below ground surface at 1400.

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-4

Sheet No.: 1 of 1

Drilling: Start Finish

0915 1000

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/36	SB-4 (2-6')	0.0	1	ML	0' - 3" - Topsoil, Yellow/Brown SILT with roots/grass, dry, medium dense. 3" - 4' - Yellow/Brown SILT, trace fine to medium Sand, trace Clay, dry, medium dense.
		0.1	2		
		0.1	3		
		0.1	4		
48/48		0.1	5	ML	4' - 7' - Yellow/Brown SILT, trace fine to medium Sand, trace Clay, dry, medium dense.
		0.1	6		
		0.0	7		
		0.0	8	ML	7' - 8' - Yellow/Brown SILT, trace fine to medium Sand, trace Clay, dry, dense.
24/24		0.0	9	ML	8' - 9' - Yellow/Brown SILT, trace fine to medium Sand, trace Gray Clay (moddled), dry, dense.
		0.0	10	ML	9' - 10' - Brown SILT, little fine Sand, trace Clay, dense, dry.
			11		End PID Screening
			12		
			13		
			14		
			15		
			16		
			17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit <50%
 MH - silt of high plasticity, elastic silt, liquid limit >50%
 CH - clay of high plasticity, fat clay, liquid limit >50%
 OH - organic clay or organic silt with liquid limit >50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 2-6 feet below ground surface at 0930.

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-5

Sheet No.: 1 of 1

Drilling:

Start Finish

1035 1055

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/36	SB-5 (2-6')	0.0	1	ML	0" - 6" - Asphalt/Base
		0.0	2		6" - 4' - Yellow/Brown SILT, trace Clay, dry, dense.
		0.0	3		
		0.0	4		
48/48		0.0	5	ML	4' - 8' - Yellow/Brown SILT, some Clay, dry, dense.
		0.0	6		
		0.0	7		
		0.0	8		
24/24		0.0	9	ML	8' - 9' - Yellow/Brown SILT, some Clay, dry, dense.
		0.0	10	ML	9' - 10' - Yellow/Brown SILT, some Clay, some fine to medium Sand, dry, dense.
			11		End PID Screening
			12		
			13		
			14		
			15		
			16		
			17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit < 50%
 MH - silt of high plasticity, elastic silt, liquid limit > 50%
 CH - clay of high plasticity, fat clay, liquid limit > 50%
 OH - organic clay or organic silt with liquid limit > 50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 2-6 feet below ground surface at 1045.

Chesapeake Environmental Management, Inc.

42 North Main Street
Bel Air, MD 21014



Logged by: Joseph Sawicki

Driller: Daniel Danko

Date: 6/15/2016

Job. No. / Client: Delta

Drilling Method: Direct Push

Sampling Method: Acetate Liner
Grab Sample

Water Level:

Time:

Date:

Location: Montgomery County Airpark

Boring No.: SB-6

Sheet No.: 1 of 1

Drilling: Start Finish

1005 1030

Inches Driven/In. Recovered	Sample No.	PID (ppm)	Depth (Feet bgs)	USCS Log	Surface Conditions: Asphalt
48/12		0.0	1	ML	0" - 12" - Asphalt/Base 12" - 4' - NO RECOVERY
			2		
			3		
			4		
48/48	SB-6 (4-6')	0.0	5	ML	4' - 6' - Light Brown SILT, some medium to coarse Sand, trace Clay, dry, medium dense.
		0.0	6		
24/24		0.0	7	ML	6' - 8' - Red/Brown SILT, trace fine Sand, trace Clay, dry, dense; 1mm black bands present.
		0.0	8		
		0.0	9	ML	8' - 10' - Red/Brown SILT, some Clay, dry, dense; black band present.
		0.0	10		
			11		End PID Screening
			12		
			13		
			14		
			15		
			16		
			17		
			18		
			19		
			20		

LEGEND:
 bgs - below ground surface
 PID - Photo Ionization Detector
 USCS - Unified Soil Classification System
 ppm - parts per million
trace - 1 to 10% soil type
little - 10 to 20% soil type
some - 20 to 35% soil type

USCS Group Symbols:
 GW - well graded gravel, fine to coarse gravel
 SW - well graded sand, fine to coarse sand
 ML - silt with liquid limit < 50%
 CL - clay with liquid limit < 50%
 OL - organic silt or organic clay with liquid limit < 50%
 MH - silt of high plasticity, elastic silt, liquid limit > 50%
 CH - clay of high plasticity, fat clay, liquid limit > 50%
 OH - organic clay or organic silt with liquid limit > 50%

GP - poorly-graded gravel
 SP - poorly-graded sand
 GM - silty gravel
 GC - clayey gravel
 SM - silty sand
 SC - clayey sand
 Pt - peat

NOTES: Terminate boring at 10 feet below ground surface.
 Sample collected from 4-6 feet below ground surface at 1015.

APPENDIX D

SITE PHOTOGRAPHS



Photo 01 - Overview of Site



Photo 02 - SB-1 Location



Photo 03 - SB-2 Location



Photo 04 - SB-3 Location



Photo 05 - SB-4 Location



Photo 06 - SB-5 Location



Photo 07 - SB-6 Location

APPENDIX E

LABORATORY ANALYTICAL REPORT

27 June 2016

Kevin DiMartino
Chesapeake Environmental Management
42 N Main St
Bel Air, MD 21014
RE: MOCO AIRPARK

Enclosed are the results of analyses for samples received by the laboratory on 06/15/16 16:30.

A more detailed report format is available upon request, which lists the accreditation status for all analytical methods performed.

Please visit our website at www.mdspectral.com for a complete listing of our accreditations.

If you have any questions concerning this report, please feel free to contact me.

Sincerely,



Sam Hamner
President

Analytical Results

1500 Caton Center Dr Suite G
Baltimore MD 21227
410-247-7600
www.mdspectral.com

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

Client Sample ID	Alternate Sample ID	Laboratory ID	Matrix	Date Sampled	Date Received
SB-1 (2-6')		6061512-01	Soil	06/15/16 11:55	06/15/16 16:30
SB-2 (2-6')		6061512-02	Soil	06/15/16 11:20	06/15/16 16:30
SB-3 (2-6')		6061512-03	Soil	06/15/16 14:00	06/15/16 16:30
SB-4 (2-6')		6061512-04	Soil	06/15/16 09:30	06/15/16 16:30
SB-5 (2-6')		6061512-05	Soil	06/15/16 10:45	06/15/16 16:30
SB-6 (4-6')		6061512-06	Soil	06/15/16 10:45	06/15/16 16:30
TRIP BLANK 06-15-16		6061512-07	Nonpotable Water	06/15/16 16:30	06/15/16 16:30



Sam Hamner, President

The results in this report apply to the samples analyzed in accordance with the chain of custody document. This analytical report must be reproduced in its entirety.

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 17:12	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 17:12	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Benzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Bromobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Bromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Bromodichloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Bromoform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Bromomethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 17:12	GM
tert-Butanol (TBA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 17:12	GM
2-Butanone (MEK)	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 17:12	GM
n-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
sec-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
tert-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Carbon disulfide	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Carbon tetrachloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Chlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Chloroethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 17:12	GM
Chloroform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Chloromethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 17:12	GM
2-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
4-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Dibromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Dibromomethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,3-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,4-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Dichlorodifluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM



Sam Hamner, President

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Dichlorofluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,3-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
2,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Ethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Hexachlorobutadiene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
2-Hexanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 17:12	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
4-Isopropyltoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
4-Methyl-2-pentanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 17:12	GM
Methylene chloride	28.5	L	ug/kg dry	24.4	24.4	1	06/16/16	06/16/16 17:12	GM
Naphthalene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
n-Propylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Styrene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Tetrachloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Toluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1,1-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,1,2-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Trichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2,3-Trichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
o-Xylene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
m- & p-Xylenes	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 17:12	GM
Surrogate: 1,2-Dichloroethane-d4		70-130		111 %	06/16/16		06/16/16 17:12		
Surrogate: Toluene-d8		75-120		101 %	06/16/16		06/16/16 17:12		
Surrogate: 4-Bromofluorobenzene		65-120		80 %	06/16/16		06/16/16 17:12		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Acenaphthylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Benzo[a]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Benzo[b]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Benzo[k]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Benzo[ghi]perylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Benzo[a]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Butyl benzyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Carbazole	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
4-Chloroaniline	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Chloronaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Chlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Chrysene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Di-n-butyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Di-n-octyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Dibenzofuran	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
1,2-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
1,3-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	610	610	1	06/20/16	06/23/16 13:23	WB
2,4-Dichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Diethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Dimethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2,4-Dimethylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
2,4-Dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
2,4-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2,6-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Fluorene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Hexachlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Hexachlorobutadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Hexachloroethane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Isophorone	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Methylnaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
3&4-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Naphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
3-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
4-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
Nitrobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2-Nitrophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
4-Nitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
Pentachlorophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 13:23	WB
Phenanthrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Phenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 13:23	WB
Surrogate: 2-Fluorophenol		50.4-106.9		68 %	06/20/16		06/23/16 13:23		
Surrogate: Phenol-d5		57.1-102.9		67 %	06/20/16		06/23/16 13:23		
Surrogate: Nitrobenzene-d5		65.4-105.8		68 %	06/20/16		06/23/16 13:23		
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		93 %	06/20/16		06/23/16 13:23		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		81 %	06/20/16		06/23/16 13:23		
Surrogate: Terphenyl-d14		70-131		84 %	06/20/16		06/23/16 13:23		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.12	0.12	1	06/20/16	06/20/16 15:02	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		100 %	06/20/16		06/20/16 15:02		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	14.4		mg/kg dry	9.8	9.8	1	06/16/16	06/17/16 19:25	CMK
Surrogate: o-Terphenyl		70-130		93 %	06/16/16		06/17/16 19:25		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	82		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1221	ND		ug/kg dry	207		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1232	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1242	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1248	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1254	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Aroclor-1260	ND		ug/kg dry	101		1	06/16/16	06/17/16 23:35	CMK
Surrogate: Tetrachloro-m-xylene		50-150		87 %	06/16/16		06/17/16 23:35		
Surrogate: Decachlorobiphenyl		50-150		107 %	06/16/16		06/17/16 23:35		

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-1 (2-6')

6061512-01 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
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Wet Chemistry Performed at Enviro-Chem

% Solids	82.5		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
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Metals EPA 6020 Performed at Enviro-Chem

Silver	ND		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Arsenic	1.51		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Barium	5.04		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Cadmium	ND		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Chromium	11.7		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Mercury	ND		mg/kg dry	0.0866	0.0866	2	06/21/16	06/23/16 13:05	MAP
Lead	15.1		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP
Selenium	3.79		mg/kg dry	0.433	0.433	2	06/21/16	06/23/16 13:05	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	11.5	11.5	1	06/16/16	06/16/16 17:43	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	57.5	57.5	1	06/16/16	06/16/16 17:43	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Benzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Bromobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Bromochloromethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Bromodichloromethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Bromoform	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Bromomethane	ND		ug/kg dry	5.7	5.7	1	06/16/16	06/16/16 17:43	GM
tert-Butanol (TBA)	ND		ug/kg dry	57.5	57.5	1	06/16/16	06/16/16 17:43	GM
2-Butanone (MEK)	ND		ug/kg dry	11.5	11.5	1	06/16/16	06/16/16 17:43	GM
n-Butylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
sec-Butylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
tert-Butylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Carbon disulfide	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Carbon tetrachloride	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Chlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Chloroethane	ND		ug/kg dry	5.7	5.7	1	06/16/16	06/16/16 17:43	GM
Chloroform	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Chloromethane	ND		ug/kg dry	5.7	5.7	1	06/16/16	06/16/16 17:43	GM
2-Chlorotoluene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
4-Chlorotoluene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Dibromochloromethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Dibromomethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2-Dichlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,3-Dichlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,4-Dichlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Dichlorodifluoromethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1-Dichloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2-Dichloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1-Dichloroethene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Dichlorofluoromethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2-Dichloropropane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,3-Dichloropropane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
2,2-Dichloropropane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1-Dichloropropene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Ethylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Hexachlorobutadiene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
2-Hexanone	ND		ug/kg dry	11.5	11.5	1	06/16/16	06/16/16 17:43	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
4-Isopropyltoluene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
4-Methyl-2-pentanone	ND		ug/kg dry	11.5	11.5	1	06/16/16	06/16/16 17:43	GM
Methylene chloride	ND		ug/kg dry	23.0	23.0	1	06/16/16	06/16/16 17:43	GM
Naphthalene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
n-Propylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Styrene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Tetrachloroethene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Toluene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1,1-Trichloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,1,2-Trichloroethane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Trichloroethene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2,3-Trichloropropane	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
o-Xylene	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
m- & p-Xylenes	ND		ug/kg dry	5.7	2.3	1	06/16/16	06/16/16 17:43	GM
Surrogate: 1,2-Dichloroethane-d4			70-130	113 %	06/16/16		06/16/16 17:43		
Surrogate: Toluene-d8			75-120	100 %	06/16/16		06/16/16 17:43		
Surrogate: 4-Bromofluorobenzene			65-120	81 %	06/16/16		06/16/16 17:43		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Acenaphthylene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Anthracene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Benzo[a]anthracene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Benzo[b]fluoranthene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Benzo[k]fluoranthene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Benzo[ghi]perylene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Benzo[a]pyrene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Butyl benzyl phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Carbazole	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
4-Chloroaniline	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Chloronaphthalene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Chlorophenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Chrysene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Di-n-butyl phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Di-n-octyl phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Dibenzofuran	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
1,2-Dichlorobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
1,3-Dichlorobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB



Sam Hamner, President

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	570	570	1	06/20/16	06/23/16 14:08	WB
2,4-Dichlorophenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Diethyl phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Dimethyl phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2,4-Dimethylphenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
2,4-Dinitrophenol	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
2,4-Dinitrotoluene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2,6-Dinitrotoluene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Fluoranthene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Fluorene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Hexachlorobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Hexachlorobutadiene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Hexachloroethane	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Isophorone	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Methylnaphthalene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
3&4-Methylphenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Methylphenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Naphthalene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Nitroaniline	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
3-Nitroaniline	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
4-Nitroaniline	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
Nitrobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2-Nitrophenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
4-Nitrophenol	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
Pentachlorophenol	ND		ug/kg dry	1440	1440	1	06/20/16	06/23/16 14:08	WB
Phenanthrene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Phenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB



Sam Hamner, President

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	290	110	1	06/20/16	06/23/16 14:08	WB
Surrogate: 2-Fluorophenol		50.4-106.9		66 %	06/20/16		06/23/16 14:08		
Surrogate: Phenol-d5		57.1-102.9		64 %	06/20/16		06/23/16 14:08		
Surrogate: Nitrobenzene-d5		65.4-105.8		65 %	06/20/16		06/23/16 14:08		S-BN
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		88 %	06/20/16		06/23/16 14:08		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		77 %	06/20/16		06/23/16 14:08		
Surrogate: Terphenyl-d14		70-131		85 %	06/20/16		06/23/16 14:08		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.11	0.11	1	06/20/16	06/20/16 15:40	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		100 %	06/20/16		06/20/16 15:40		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	ND		mg/kg dry	9.2	9.2	1	06/16/16	06/17/16 19:52	CMK
Surrogate: o-Terphenyl		70-130		87 %	06/16/16		06/17/16 19:52		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	87		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1221	ND		ug/kg dry	195		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1232	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1242	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1248	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1254	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Aroclor-1260	ND		ug/kg dry	95.4		1	06/16/16	06/18/16 00:06	CMK
Surrogate: Tetrachloro-m-xylene		50-150		86 %	06/16/16		06/18/16 00:06		
Surrogate: Decachlorobiphenyl		50-150		103 %	06/16/16		06/18/16 00:06		



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-2 (2-6')

6061512-02 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
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Wet Chemistry Performed at Enviro-Chem

% Solids	82.7		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
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Metals EPA 6020 Performed at Enviro-Chem

Silver	ND		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Arsenic	2.62		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Barium	7.04		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Cadmium	ND		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Chromium	15.2		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Mercury	ND		mg/kg dry	0.0967	0.0967	2	06/21/16	06/23/16 13:09	MAP
Lead	13.4		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP
Selenium	3.21		mg/kg dry	0.484	0.484	2	06/21/16	06/23/16 13:09	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	12.0	12.0	1	06/16/16	06/16/16 18:14	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	60.2	60.2	1	06/16/16	06/16/16 18:14	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Benzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Bromobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Bromochloromethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Bromodichloromethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Bromoform	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Bromomethane	ND		ug/kg dry	6.0	6.0	1	06/16/16	06/16/16 18:14	GM
tert-Butanol (TBA)	ND		ug/kg dry	60.2	60.2	1	06/16/16	06/16/16 18:14	GM
2-Butanone (MEK)	ND		ug/kg dry	12.0	12.0	1	06/16/16	06/16/16 18:14	GM
n-Butylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
sec-Butylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
tert-Butylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Carbon disulfide	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Carbon tetrachloride	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Chlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Chloroethane	ND		ug/kg dry	6.0	6.0	1	06/16/16	06/16/16 18:14	GM
Chloroform	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Chloromethane	ND		ug/kg dry	6.0	6.0	1	06/16/16	06/16/16 18:14	GM
2-Chlorotoluene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
4-Chlorotoluene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Dibromochloromethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Dibromomethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2-Dichlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,3-Dichlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,4-Dichlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Dichlorodifluoromethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1-Dichloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2-Dichloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1-Dichloroethene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Dichlorofluoromethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2-Dichloropropane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,3-Dichloropropane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
2,2-Dichloropropane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1-Dichloropropene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Ethylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Hexachlorobutadiene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
2-Hexanone	ND		ug/kg dry	12.0	12.0	1	06/16/16	06/16/16 18:14	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
4-Isopropyltoluene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
4-Methyl-2-pentanone	ND		ug/kg dry	12.0	12.0	1	06/16/16	06/16/16 18:14	GM
Methylene chloride	ND		ug/kg dry	24.1	24.1	1	06/16/16	06/16/16 18:14	GM
Naphthalene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
n-Propylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Styrene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Tetrachloroethene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Toluene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1,1-Trichloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,1,2-Trichloroethane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Trichloroethene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2,3-Trichloropropane	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
o-Xylene	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
m- & p-Xylenes	ND		ug/kg dry	6.0	2.4	1	06/16/16	06/16/16 18:14	GM
Surrogate: 1,2-Dichloroethane-d4		70-130		106 %	06/16/16		06/16/16 18:14		
Surrogate: Toluene-d8		75-120		99 %	06/16/16		06/16/16 18:14		
Surrogate: 4-Bromofluorobenzene		65-120		78 %	06/16/16		06/16/16 18:14		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Acenaphthylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Benzo[a]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Benzo[b]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Benzo[k]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Benzo[ghi]perylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Benzo[a]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Butyl benzyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Carbazole	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
4-Chloroaniline	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Chloronaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Chlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Chrysene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Di-n-butyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Di-n-octyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Dibenzofuran	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
1,2-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
1,3-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	600	600	1	06/20/16	06/23/16 14:52	WB
2,4-Dichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Diethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Dimethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2,4-Dimethylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
2,4-Dinitrophenol	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
2,4-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2,6-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Fluorene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Hexachlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Hexachlorobutadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Hexachloroethane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Isophorone	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Methylnaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
3&4-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Naphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Nitroaniline	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
3-Nitroaniline	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
4-Nitroaniline	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
Nitrobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2-Nitrophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
4-Nitrophenol	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
Pentachlorophenol	ND		ug/kg dry	1510	1510	1	06/20/16	06/23/16 14:52	WB
Phenanthrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Phenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 14:52	WB
Surrogate: 2-Fluorophenol		50.4-106.9		70 %	06/20/16		06/23/16 14:52		
Surrogate: Phenol-d5		57.1-102.9		66 %	06/20/16		06/23/16 14:52		
Surrogate: Nitrobenzene-d5		65.4-105.8		66 %	06/20/16		06/23/16 14:52		
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		92 %	06/20/16		06/23/16 14:52		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		80 %	06/20/16		06/23/16 14:52		
Surrogate: Terphenyl-d14		70-131		86 %	06/20/16		06/23/16 14:52		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.12	0.12	1	06/20/16	06/20/16 16:19	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		100 %	06/20/16		06/20/16 16:19		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	ND		mg/kg dry	9.6	9.6	1	06/16/16	06/17/16 20:19	CMK
Surrogate: o-Terphenyl		70-130		83 %	06/16/16		06/17/16 20:19		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	83		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1221	ND		ug/kg dry	205		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1232	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1242	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1248	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1254	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Aroclor-1260	ND		ug/kg dry	100		1	06/16/16	06/18/16 00:38	CMK
Surrogate: Tetrachloro-m-xylene		50-150		87 %	06/16/16		06/18/16 00:38		
Surrogate: Decachlorobiphenyl		50-150		105 %	06/16/16		06/18/16 00:38		



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-3 (2-6')

6061512-03 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
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Wet Chemistry Performed at Enviro-Chem

% Solids	84.4		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
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Metals EPA 6020 Performed at Enviro-Chem

Silver	ND		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Arsenic	1.29		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Barium	3.61		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Cadmium	ND		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Chromium	11.5		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Mercury	ND		mg/kg dry	0.0832	0.0832	2	06/21/16	06/23/16 13:13	MAP
Lead	9.27		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP
Selenium	3.15		mg/kg dry	0.416	0.416	2	06/21/16	06/23/16 13:13	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	11.8	11.8	1	06/16/16	06/16/16 18:45	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	58.8	58.8	1	06/16/16	06/16/16 18:45	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Benzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Bromobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Bromochloromethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Bromodichloromethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Bromoform	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Bromomethane	ND		ug/kg dry	5.9	5.9	1	06/16/16	06/16/16 18:45	GM
tert-Butanol (TBA)	ND		ug/kg dry	58.8	58.8	1	06/16/16	06/16/16 18:45	GM
2-Butanone (MEK)	ND		ug/kg dry	11.8	11.8	1	06/16/16	06/16/16 18:45	GM
n-Butylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
sec-Butylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
tert-Butylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Carbon disulfide	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Carbon tetrachloride	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Chlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Chloroethane	ND		ug/kg dry	5.9	5.9	1	06/16/16	06/16/16 18:45	GM
Chloroform	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Chloromethane	ND		ug/kg dry	5.9	5.9	1	06/16/16	06/16/16 18:45	GM
2-Chlorotoluene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
4-Chlorotoluene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Dibromochloromethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Dibromomethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2-Dichlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,3-Dichlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,4-Dichlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Dichlorodifluoromethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1-Dichloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2-Dichloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1-Dichloroethene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Dichlorofluoromethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2-Dichloropropane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,3-Dichloropropane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
2,2-Dichloropropane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1-Dichloropropene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Ethylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Hexachlorobutadiene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
2-Hexanone	ND		ug/kg dry	11.8	11.8	1	06/16/16	06/16/16 18:45	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
4-Isopropyltoluene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
4-Methyl-2-pentanone	ND		ug/kg dry	11.8	11.8	1	06/16/16	06/16/16 18:45	GM
Methylene chloride	ND		ug/kg dry	23.5	23.5	1	06/16/16	06/16/16 18:45	GM
Naphthalene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
n-Propylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Styrene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Tetrachloroethene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Toluene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1,1-Trichloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,1,2-Trichloroethane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Trichloroethene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2,3-Trichloropropane	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
o-Xylene	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
m- & p-Xylenes	ND		ug/kg dry	5.9	2.4	1	06/16/16	06/16/16 18:45	GM
Surrogate: 1,2-Dichloroethane-d4		70-130		116 %	06/16/16		06/16/16 18:45		
Surrogate: Toluene-d8		75-120		101 %	06/16/16		06/16/16 18:45		
Surrogate: 4-Bromofluorobenzene		65-120		80 %	06/16/16		06/16/16 18:45		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Acenaphthylene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Anthracene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Benzo[a]anthracene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Benzo[b]fluoranthene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Benzo[k]fluoranthene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Benzo[ghi]perylene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Benzo[a]pyrene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Butyl benzyl phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Carbazole	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
4-Chloroaniline	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Chloronaphthalene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Chlorophenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Chrysene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Di-n-butyl phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Di-n-octyl phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Dibenzofuran	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
1,2-Dichlorobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
1,3-Dichlorobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	590	590	1	06/20/16	06/23/16 15:36	WB
2,4-Dichlorophenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Diethyl phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Dimethyl phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2,4-Dimethylphenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
2,4-Dinitrophenol	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
2,4-Dinitrotoluene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2,6-Dinitrotoluene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Fluoranthene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Fluorene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Hexachlorobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Hexachlorobutadiene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Hexachloroethane	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Isophorone	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Methylnaphthalene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
3&4-Methylphenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Methylphenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Naphthalene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Nitroaniline	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
3-Nitroaniline	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
4-Nitroaniline	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
Nitrobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2-Nitrophenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
4-Nitrophenol	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
Pentachlorophenol	ND		ug/kg dry	1470	1470	1	06/20/16	06/23/16 15:36	WB
Phenanthrene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Phenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	290	120	1	06/20/16	06/23/16 15:36	WB
Surrogate: 2-Fluorophenol		50.4-106.9		72 %	06/20/16		06/23/16 15:36		
Surrogate: Phenol-d5		57.1-102.9		68 %	06/20/16		06/23/16 15:36		
Surrogate: Nitrobenzene-d5		65.4-105.8		69 %	06/20/16		06/23/16 15:36		
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		93 %	06/20/16		06/23/16 15:36		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		80 %	06/20/16		06/23/16 15:36		
Surrogate: Terphenyl-d14		70-131		87 %	06/20/16		06/23/16 15:36		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.12	0.12	1	06/20/16	06/20/16 16:57	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		103 %	06/20/16		06/20/16 16:57		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	ND		mg/kg dry	9.4	9.4	1	06/16/16	06/17/16 20:47	CMK
Surrogate: o-Terphenyl		70-130		76 %	06/16/16		06/17/16 20:47		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	85		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1221	ND		ug/kg dry	200		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1232	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1242	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1248	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1254	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Aroclor-1260	ND		ug/kg dry	97.6		1	06/16/16	06/18/16 01:10	CMK
Surrogate: Tetrachloro-m-xylene		50-150		87 %	06/16/16		06/18/16 01:10		
Surrogate: Decachlorobiphenyl		50-150		105 %	06/16/16		06/18/16 01:10		



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-4 (2-6')

6061512-04 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
Wet Chemistry Performed at Enviro-Chem									
% Solids	80.9		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
Metals EPA 6020 Performed at Enviro-Chem									
Silver	ND		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Arsenic	0.856		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Barium	2.31		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Cadmium	ND		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Chromium	10.6		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Mercury	ND		mg/kg dry	0.0773	0.0773	2	06/21/16	06/23/16 13:17	MAP
Lead	11.6		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP
Selenium	2.09		mg/kg dry	0.386	0.386	2	06/21/16	06/23/16 13:17	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:17	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 19:17	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Benzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Bromobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Bromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Bromodichloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Bromoform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Bromomethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:17	GM
tert-Butanol (TBA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 19:17	GM
2-Butanone (MEK)	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:17	GM
n-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
sec-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
tert-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Carbon disulfide	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Carbon tetrachloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Chlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Chloroethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:17	GM
Chloroform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Chloromethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:17	GM
2-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
4-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Dibromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Dibromomethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,3-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,4-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Dichlorodifluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Dichlorofluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,3-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
2,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Ethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Hexachlorobutadiene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
2-Hexanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:17	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
4-Isopropyltoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
4-Methyl-2-pentanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:17	GM
Methylene chloride	ND		ug/kg dry	24.4	24.4	1	06/16/16	06/16/16 19:17	GM
Naphthalene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
n-Propylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Styrene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Tetrachloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Toluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1,1-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,1,2-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Trichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2,3-Trichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
o-Xylene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
m- & p-Xylenes	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:17	GM
Surrogate: 1,2-Dichloroethane-d4		70-130		109 %	06/16/16		06/16/16 19:17		
Surrogate: Toluene-d8		75-120		103 %	06/16/16		06/16/16 19:17		
Surrogate: 4-Bromofluorobenzene		65-120		79 %	06/16/16		06/16/16 19:17		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Acenaphthylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Benzo[a]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Benzo[b]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Benzo[k]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Benzo[ghi]perylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Benzo[a]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Butyl benzyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Carbazole	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
4-Chloroaniline	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Chloronaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Chlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Chrysene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Di-n-butyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Di-n-octyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Dibenzofuran	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
1,2-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
1,3-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	610	610	1	06/20/16	06/23/16 16:20	WB
2,4-Dichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Diethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Dimethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2,4-Dimethylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
2,4-Dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
2,4-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2,6-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Fluorene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Hexachlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Hexachlorobutadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Hexachloroethane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Isophorone	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Methylnaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
3&4-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Naphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
3-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
4-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
Nitrobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2-Nitrophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
4-Nitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
Pentachlorophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 16:20	WB
Phenanthrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Phenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 16:20	WB
Surrogate: 2-Fluorophenol		50.4-106.9		66 %	06/20/16		06/23/16 16:20		
Surrogate: Phenol-d5		57.1-102.9		67 %	06/20/16		06/23/16 16:20		
Surrogate: Nitrobenzene-d5		65.4-105.8		68 %	06/20/16		06/23/16 16:20		
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		94 %	06/20/16		06/23/16 16:20		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		81 %	06/20/16		06/23/16 16:20		
Surrogate: Terphenyl-d14		70-131		83 %	06/20/16		06/23/16 16:20		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.12	0.12	1	06/20/16	06/20/16 17:36	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		104 %	06/20/16		06/20/16 17:36		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	ND		mg/kg dry	9.8	9.8	1	06/16/16	06/17/16 21:14	CMK
Surrogate: o-Terphenyl		70-130		75 %	06/16/16		06/17/16 21:14		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	82		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1221	ND		ug/kg dry	207		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1232	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1242	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1248	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1254	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Aroclor-1260	ND		ug/kg dry	101		1	06/16/16	06/18/16 01:42	CMK
Surrogate: Tetrachloro-m-xylene		50-150		85 %	06/16/16		06/18/16 01:42		
Surrogate: Decachlorobiphenyl		50-150		99 %	06/16/16		06/18/16 01:42		



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-5 (2-6')

6061512-05 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
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Wet Chemistry Performed at Enviro-Chem

% Solids	81.5		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
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Metals EPA 6020 Performed at Enviro-Chem

Silver	ND		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Arsenic	1.94		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Barium	3.40		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Cadmium	ND		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Chromium	7.62		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Mercury	ND		mg/kg dry	0.0909	0.0909	2	06/21/16	06/23/16 15:28	MAP
Lead	8.23		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP
Selenium	5.53		mg/kg dry	0.455	0.455	2	06/21/16	06/23/16 15:28	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:48	GM
tert-Amyl alcohol (TAA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 19:48	GM
tert-Amyl methyl ether (TAME)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Benzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Bromobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Bromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Bromodichloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Bromoform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Bromomethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:48	GM
tert-Butanol (TBA)	ND		ug/kg dry	61.0	61.0	1	06/16/16	06/16/16 19:48	GM
2-Butanone (MEK)	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:48	GM
n-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
sec-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
tert-Butylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Carbon disulfide	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Carbon tetrachloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Chlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Chloroethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:48	GM
Chloroform	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Chloromethane	ND		ug/kg dry	6.1	6.1	1	06/16/16	06/16/16 19:48	GM
2-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
4-Chlorotoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2-Dibromo-3-chloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Dibromochloromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2-Dibromoethane (EDB)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Dibromomethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,3-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,4-Dichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Dichlorodifluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2-Dichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
cis-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Dichlorofluoromethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,3-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
2,2-Dichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
cis-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
trans-1,3-Dichloropropene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Diisopropyl ether (DIPE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Ethyl tert-butyl ether (ETBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Ethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Hexachlorobutadiene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
2-Hexanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:48	GM
Isopropylbenzene (Cumene)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
4-Isopropyltoluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Methyl tert-butyl ether (MTBE)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
4-Methyl-2-pentanone	ND		ug/kg dry	12.2	12.2	1	06/16/16	06/16/16 19:48	GM
Methylene chloride	ND		ug/kg dry	24.4	24.4	1	06/16/16	06/16/16 19:48	GM
Naphthalene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
n-Propylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Styrene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1,1,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1,2,2-Tetrachloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Tetrachloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Toluene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2,3-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2,4-Trichlorobenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1,1-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,1,2-Trichloroethane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Trichloroethene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Trichlorofluoromethane (Freon 11)	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2,3-Trichloropropane	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,2,4-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
1,3,5-Trimethylbenzene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM



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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
o-Xylene	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
m- & p-Xylenes	ND		ug/kg dry	6.1	2.4	1	06/16/16	06/16/16 19:48	GM
Surrogate: 1,2-Dichloroethane-d4		70-130		115 %	06/16/16		06/16/16 19:48		
Surrogate: Toluene-d8		75-120		100 %	06/16/16		06/16/16 19:48		
Surrogate: 4-Bromofluorobenzene		65-120		82 %	06/16/16		06/16/16 19:48		
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS)									
Acenaphthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Acenaphthylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Benzo[a]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Benzo[b]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Benzo[k]fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Benzo[ghi]perylene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Benzo[a]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
4-Bromophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Butyl benzyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Carbazole	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
4-Chloro-3-methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
4-Chloroaniline	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Bis(2-chloroethoxy)methane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Bis(2-chloroethyl) ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2,2'-Oxybis(1-Chloropropane)	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Chloronaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Chlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
4-Chlorophenyl phenyl ether	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Chrysene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Di-n-butyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Di-n-octyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Dibenzo[a,h]anthracene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Dibenzofuran	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
1,2-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
1,3-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB



Sam Hamner, President

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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
1,4-Dichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
3,3-Dichlorobenzidine	ND		ug/kg dry	610	610	1	06/20/16	06/23/16 17:04	WB
2,4-Dichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Diethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Dimethyl phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2,4-Dimethylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Methyl-4,6-dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
2,4-Dinitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
2,4-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2,6-Dinitrotoluene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Bis(2-ethylhexyl) phthalate	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Fluoranthene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Fluorene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Hexachlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Hexachlorobutadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Hexachlorocyclopentadiene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Hexachloroethane	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Indeno[1,2,3-cd]pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Isophorone	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Methylnaphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
3&4-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Methylphenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
N-Nitroso-di-n-propylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
N-Nitrosodiphenylamine	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Naphthalene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
3-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
4-Nitroaniline	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
Nitrobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2-Nitrophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
4-Nitrophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
Pentachlorophenol	ND		ug/kg dry	1520	1520	1	06/20/16	06/23/16 17:04	WB
Phenanthrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Phenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB

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Sam Hamner, President

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
SEMIVOLATILE ORGANICS BY EPA METHOD 3540/8270D (GC/MS) (continued)									
Pyrene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
1,2,4-Trichlorobenzene	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2,4,5-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
2,4,6-Trichlorophenol	ND		ug/kg dry	300	120	1	06/20/16	06/23/16 17:04	WB
Surrogate: 2-Fluorophenol		50.4-106.9		70 %	06/20/16		06/23/16 17:04		
Surrogate: Phenol-d5		57.1-102.9		67 %	06/20/16		06/23/16 17:04		
Surrogate: Nitrobenzene-d5		65.4-105.8		68 %	06/20/16		06/23/16 17:04		
Surrogate: 2,4,6-Tribromophenol		40.2-120.7		93 %	06/20/16		06/23/16 17:04		
Surrogate: 2-Fluorobiphenyl		59.7-107.6		81 %	06/20/16		06/23/16 17:04		
Surrogate: Terphenyl-d14		70-131		83 %	06/20/16		06/23/16 17:04		
GASOLINE RANGE ORGANICS BY EPA 5030/8015B									
Gasoline-Range Organics	ND		mg/kg dry	0.12	0.12	1	06/20/16	06/20/16 18:14	GM
Surrogate: a,a,a-Trifluorotoluene		85-115		101 %	06/20/16		06/20/16 18:14		
DIESEL RANGE ORGANICS BY EPA 3540/8015B									
Diesel-Range Organics	ND		mg/kg dry	9.8	9.8	1	06/16/16	06/17/16 21:41	CMK
Surrogate: o-Terphenyl		70-130		78 %	06/16/16		06/17/16 21:41		
PERCENT SOLIDS BY ASTM D2216-05									
Percent Solids	82		%			1	06/16/16	06/17/16 10:15	AB
POLYCHLORINATED BIPHENYLS BY EPA 3540/8082 (GC/ECD)									
Aroclor-1016	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1221	ND		ug/kg dry	207		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1232	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1242	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1248	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1254	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Aroclor-1260	ND		ug/kg dry	101		1	06/16/16	06/18/16 02:13	CMK
Surrogate: Tetrachloro-m-xylene		50-150		85 %	06/16/16		06/18/16 02:13		
Surrogate: Decachlorobiphenyl		50-150		100 %	06/16/16		06/18/16 02:13		



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

SB-6 (4-6')

6061512-06 (Soil)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
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Wet Chemistry Performed at Enviro-Chem

% Solids	82.0		%	1.00	1.00	1	06/22/16	06/22/16 15:20	NFK
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Metals EPA 6020 Performed at Enviro-Chem

Silver	ND		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Arsenic	1.73		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Barium	6.57		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Cadmium	ND		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Chromium	13.9		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Mercury	ND		mg/kg dry	0.0886	0.0886	2	06/21/16	06/23/16 15:32	MAP
Lead	5.53		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP
Selenium	7.09		mg/kg dry	0.443	0.443	2	06/21/16	06/23/16 15:32	MAP



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

TRIP BLANK 06-15-16

6061512-07 (Nonpotable Water)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS)									
Acetone	ND		ug/L	10.0	10.0	1	06/16/16	06/16/16 18:37	WB
tert-Amyl alcohol (TAA)	ND		ug/L	20.0	20.0	1	06/16/16	06/16/16 18:37	WB
tert-Amyl methyl ether (TAME)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Benzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Bromobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Bromochloromethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Bromodichloromethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Bromoform	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Bromomethane	ND		ug/L	5.0	5.0	1	06/16/16	06/16/16 18:37	WB
tert-Butanol (TBA)	ND		ug/L	15.0	15.0	1	06/16/16	06/16/16 18:37	WB
2-Butanone (MEK)	ND		ug/L	10.0	10.0	1	06/16/16	06/16/16 18:37	WB
n-Butylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
sec-Butylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
tert-Butylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Carbon disulfide	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Carbon tetrachloride	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Chlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Chloroethane	ND		ug/L	5.0	5.0	1	06/16/16	06/16/16 18:37	WB
Chloroform	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Chloromethane	ND		ug/L	5.0	5.0	1	06/16/16	06/16/16 18:37	WB
2-Chlorotoluene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
4-Chlorotoluene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Dibromochloromethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2-Dibromo-3-chloropropane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2-Dibromoethane (EDB)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Dibromomethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2-Dichlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,3-Dichlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,4-Dichlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Dichlorodifluoromethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1-Dichloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2-Dichloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1-Dichloroethene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
cis-1,2-Dichloroethene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB



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Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

TRIP BLANK 06-15-16

6061512-07 (Nonpotable Water)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
trans-1,2-Dichloroethene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Dichlorofluoromethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2-Dichloropropane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,3-Dichloropropane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
2,2-Dichloropropane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1-Dichloropropene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
cis-1,3-Dichloropropene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
trans-1,3-Dichloropropene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Diisopropyl ether (DIPE)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Ethyl tert-butyl ether (ETBE)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Ethylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Hexachlorobutadiene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
2-Hexanone	ND		ug/L	10.0	10.0	1	06/16/16	06/16/16 18:37	WB
Isopropylbenzene (Cumene)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
4-Isopropyltoluene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Methyl tert-butyl ether (MTBE)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
4-Methyl-2-pentanone	ND		ug/L	10.0	10.0	1	06/16/16	06/16/16 18:37	WB
Methylene chloride	ND		ug/L	10.0	10.0	1	06/16/16	06/16/16 18:37	WB
Naphthalene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
n-Propylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Styrene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1,1,2-Tetrachloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1,2,2-Tetrachloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Tetrachloroethene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Toluene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2,3-Trichlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2,4-Trichlorobenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1,1-Trichloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,1,2-Trichloroethane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Trichloroethene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Trichlorofluoromethane (Freon 11)	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2,3-Trichloropropane	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,2,4-Trimethylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
1,3,5-Trimethylbenzene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB



Sam Hamner, President

The results in this report apply to the samples analyzed in accordance with the chain of custody document. This analytical report must be reproduced in its entirety.

Analytical Results

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

TRIP BLANK 06-15-16

6061512-07 (Nonpotable Water)
Sample Date: 06/15/16

Analyte	Result	Notes	Units	Reporting Limit (MRL)	Quantitation Limit (LOQ)	Dilution	Prepared	Analyzed	Analyst
VOLATILE ORGANICS BY EPA METHOD 8260B (GC/MS) (continued)									
Vinyl chloride	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
o-Xylene	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
m- & p-Xylenes	ND		ug/L	5.0	2.0	1	06/16/16	06/16/16 18:37	WB
Surrogate: 1,2-Dichloroethane-d4				75-120	98 %		06/16/16	06/16/16 18:37	
Surrogate: Toluene-d8				84-110	99 %		06/16/16	06/16/16 18:37	
Surrogate: 4-Bromofluorobenzene				78-110	97 %		06/16/16	06/16/16 18:37	



Sam Hamner, President

The results in this report apply to the samples analyzed in accordance with the chain of custody document. This analytical report must be reproduced in its entirety.

Analytical Results

1500 Caton Center Dr Suite G
Baltimore MD 21227
410-247-7600
www.mdspectral.com

Project: MOCO AIRPARK

Project Number: C2015032.002
Project Manager: Kevin DiMartino

Reported:
06/27/16 16:45

Notes and Definitions

S-BN	Base/Neutral surrogate recovery outside of control limits. The data was accepted based on valid recovery of remaining two base/neutral surrogates.
L	Analyte is a possible laboratory contaminant
J	Detected but below the reporting limit; therefore, result is an estimated concentration (CLP J-Flag).
DET	Analyte DETECTED
ND	Analyte NOT DETECTED at or above the reporting limit
NR	Not Reported
dry	Sample results reported on a dry weight basis
RPD	Relative Percent Difference



Sam Hamner, President

The results in this report apply to the samples analyzed in accordance with the chain of custody document. This analytical report must be reproduced in its entirety.

APPENDIX F

ANALYTICAL SUMMARY TABLE

SOIL ANALYTICAL SUMMARY TABLE

CAS-ID#	Analyte	Units	MDE Non-Residential Clean-Up Standard	SB-1 (2-6') 6/15/2016	SB-2 (2-6') 6/15/2016	SB-3 (2-6') 6/15/2016	SB-4 (2-6') 6/15/2016	SB-5 (2-6') 6/15/2016	SB-6 (4-6') 6/15/2016	Trip Blank 6/15/16
Volatile Organic Compounds (VOCs)										
67-64-1	Acetone	ug/kg	92000000	ND	ND	ND	ND	ND	ND	ND
75-09-2	Methylene Chloride (Dichloromethane)	ug/kg	380000	28.5 L	ND	ND	ND	ND	ND	ND
Semivolatile Organic Compounds (SVOCs)										
56-55-3	Benzo[a]anthracene	ug/kg	3900	ND	ND	ND	ND	ND	ND	NT
50-32-8	Benzo[a]pyrene	ug/kg	390	ND	ND	ND	ND	ND	ND	NT
205-99-2	Benzo[b]fluoranthene	ug/kg	3900	ND	ND	ND	ND	ND	ND	NT
191-24-2	Benzo[g,h,i]perylene	ug/kg	3100000	ND	ND	ND	ND	ND	ND	NT
207-08-9	Benzo[k]fluoranthene	ug/kg	39000	ND	ND	ND	ND	ND	ND	NT
Pesticides/Herbicides/PCBs										
1336-36-3	PCB(total)	ug/kg	1400	ND	ND	ND	ND	ND	ND	NT
Inorganics										
7440-38-2	Arsenic	mg/kg	1.9	1.51	2.62	1.29	0.856	1.94	1.73	NT
7440-39-3	Barium	mg/kg	20000	5.04	7.04	3.61	2.31	3.4	6.57	NT
7440-43-9	Cadmium	mg/kg	51	ND	ND	ND	ND	ND	ND	NT
7440-47-3	Chromium (total)	mg/kg	310	11.7	15.2	11.5	10.6	7.62	13.9	NT
7439-92-1	Lead	mg/kg	1000	15.1	13.4	9.27	11.6	8.23	5.53	NT
7487-94-7	Mercury (inorganic/Mercuric Dichloride)	mg/kg	31	ND	ND	ND	ND	ND	ND	NT
7782-49-2	Selenium	mg/kg	510	3.79	3.21	3.15	2.09	5.53	7.09	NT
7440-22-4	Silver	mg/kg	510	ND	ND	ND	ND	ND	ND	NT
Total Petroleum Hydrocarbons										
n/a	Diesel Range Organics (DRO)	mg/kg	620	14.4	ND	ND	ND	ND	ND	NT
n/a	Gasoline Range Organics (GRO)	mg/kg	620	ND	ND	ND	ND	ND	ND	NT

Bolded and shaded values indicate the concentration exceeded the MDE Non-Residential Cleanup Standard

ND - Indicates the analyte was analyzed for but not detected

NT - Indicates the analyte was not tested

L - Analyte is a possible laboratory contaminant



REGULATED AND HAZARDOUS MATERIALS SURVEY

Montgomery County Airpark Parcels
18810 Woodfield Road
Gaithersburg, Maryland



Prepared for:

Delta Airport Consultants
9711 Farrar Court, Suite 100
Richmond, Virginia 23236

Prepared by:



**Chesapeake Environmental
Management, Inc.**
42 N. Main Street
Bel Air, Maryland 21014



JULY 2016

**Regulated and Hazardous Materials Survey
Montgomery County Airpark Parcels
18810 Woodfield Road
Gaithersburg, Maryland**

Prepared for:

Delta Airport Consultants
9711 Farrar Court, Suite 100
Richmond, Virginia 23236

Prepared by:

Chesapeake Environmental Management, Inc.
42 North Main Street
Bel Air, Maryland 21014
(410) 893-9016

July 2016

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EXECUTIVE SUMMARY

Chesapeake Environmental Management, Inc. (CEM) has completed a Regulated and Hazardous Materials Survey at the Gold's Gym located at 18810 Woodfield Road (previously identified as Target Property #2 in the Phase I ESA (CEM 2016)). The site is located along the southeastern border of the Montgomery County Airpark in Gaithersburg, Maryland (herein referred to as the "Target Property" and presented as **Figure 1**).

CEM understands that the Montgomery County Airpark proposes to acquire the Target Property and raze the existing structures to facilitate the proposed construction activities associated with the most recent Federal Aviation Administration (FAA) requirements. The purpose of this Regulated and Hazardous Materials Survey was to evaluate the potential contamination issues that may exist at the target property and to assist in future planning efforts.

CEM surveyed one permanent structure at the Target Property that will potentially be demolished by Montgomery County Airpark. The structure includes one two-story commercial building.

According to the data collected during the Regulated and Hazardous Materials Survey, one recognized environmental condition (REC) was identified at the Target Property related to the presence of lead-based paint (LBP).

- All of the painted surfaces identified on the ceiling of the boxing studio room tested positive for lead paint.

The hazardous materials identified at the Target Property have been proven to be carcinogenic and would present a considerable risk to worker health and safety if significant exposure were to occur. Therefore, the data presented in this report should be considered during the planning phase of the proposed demolition to determine which protocols would be required during the handling and disposal of the encountered hazardous materials.

- No asbestos-containing building materials (ACBM) were encountered during the Regulated and Hazardous Materials Survey. Any suspected ACBM encountered during the demolition activities should be treated as ACBM, unless further testing proves otherwise.
- Based on the results of the lead-based paint (LBP) inspection, all identified ceiling components found in the boxing studio room should be treated as LBP building components for disposal purposes, unless further testing proves otherwise.
- CEM recommends collecting a representative sample of demolition debris for the purposes of waste characterization prior to disposal. The representative sample(s) should be submitted to a laboratory for analysis according to the Toxicity Characteristic Leaching Procedure (TCLP). Based on the results of the TCLP analysis, the wastes should be handled in accordance with all applicable federal, state and local regulations.

1.0 INTRODUCTION

Chesapeake Environmental Management, Inc. (CEM) was retained by Delta Airpark Consultants (DAC) to perform a Regulated and Hazardous Materials Survey of the property located at 18810 Woodfield Road (identified as “Target Property” and presented in **Appendix B – Figure 1**).

This survey was performed to assist DAC with determining the appropriate handling and disposal requirements that may be needed when hazardous materials are encountered during the demolition of the structure located at the Target Property. This report includes the results of the hazardous materials visual inspection, asbestos-containing building materials (ACBM) survey, and lead-based paint (LBP) survey.

2.0 METHODS

CEM conducted a Regulated and Hazardous Materials survey of the Target Property on June 14, 2016. The inspection consisted of an inspection of the perimeter of the structure, as well as all accessible interior areas of the structure (**Appendix B – Figure 2**). The structure exists as a two-story commercial gym building (Gold’s Gym). The photographs taken during the site reconnaissance are provided in **Appendix C**.

2.1 Hazardous Materials Visual Inspection

As part of this survey, CEM performed a visual inspection of the Target Property for evidence of potential recognized environmental conditions (RECs), such as drums and storage containers, above ground storage tanks (ASTs), underground storage tanks (USTs), unregulated dumping of solid waste, polychlorinated biphenyls (PCBs), household hazardous wastes (HHW), and mercury-containing devices. The previously prepared Phase I ESA (CEM 2016) found that there were no RECs associated with the Target Property.

2.2 Asbestos-Containing Building Materials Survey

On June 14, 2016, CEM’s certified asbestos inspector Daniel Danko [U.S. Environmental Protection Agency (EPA) accredited Asbestos Hazard Emergency Response Act (AHERA) Inspector #15022541] performed the identification and sampling of suspect ACBM. All accessible areas associated with the building located at the Target Property were inspected for suspect ACBM.

During the asbestos survey, CEM collected a total of three bulk samples of suspect ACBM from the structures located at the Target Property.

The suspect homogeneous ACBMs identified and sampled at the Target Property included:

- Exterior Caulking (located across exterior of structure roof)
- 1’x1’ Vinyl Floor Tile (located throughout interior of structure)
- Ceiling Tiles (located throughout interior of structure)

CEM’s building inspector collected bulk samples of suspect ACBM using a coring sampler, a metal spatula, or an X-acto knife. These tools were used to cut through the suspect material (down to the substrate) and obtain samples containing all discrete layers. Each sample was then placed in a sealable bag and assigned a unique sample number, which was recorded on the bags and on the bulk survey sampling sheets.

Every reasonable attempt was made to locate ACBM present as thermal system insulation (TSI), surfacing material, or other miscellaneous materials in the areas surveyed.

The bulk samples of suspect ACBM were submitted to AMA Analytical Services, Inc. in Lanham, Maryland under standard chain-of-custody procedures. The bulk samples were analyzed using polarized light microscopy (PLM)/Dispersion Staining in accordance with EPA Method 600/R-93/116 (Method for the Determination of Asbestos in Bulk Building Materials). A summary of the asbestos samples collected (including sample ID, base material, color, condition, location, type, friability, estimated quantity and asbestos content) is included in **Appendix D - Table 1** of this report. The copies of the chain of custody forms and Laboratory Certificates of Analysis are included in **Appendix E** of this report.

2.3 Lead-Based Paint Screening

On June 14, 2016, Arc Environmental Inc.'s certified lead inspector, Sean Walter (Certification #15757) performed the LBP screening of all accessible areas of the structure located at the Target Property. The inspection was performed to characterize interior and exterior painted surfaces for lead content. The component types that were inspected included, but were not limited to, doors, door frames, door jambs, window frames, window sills, walls, ceilings, support beams, baseboards, and other miscellaneous painted surfaces.

The testing for lead content in paints was performed using a RMD LPA-1 X-Ray Fluorescence (XRF) Spectrum Analyzer (Serial Number 2613). The XRF instrument detects lead in the field by reading the fluorescence emanating from a painted surface when exposed to small amounts of radiation. XRF readings are reported in milligrams per square centimeter (mg/cm²), a mass per area reading. LBP is defined by Code of Maryland Regulations (COMAR) 26.16.01.02 B (7) as paint containing greater than 0.7 mg/cm² of lead and defined by the U.S. Department of Housing and Urban Development (HUD) as paint containing greater than or equal to 1.0 mg/cm² of lead.

During the investigation, a total of 231 XRF readings were recorded and one positive result was identified. Calibration checks were performed before and after the investigation to ensure that the instrument was within acceptable calibration parameters. A summary of the LBP results are included in **Appendix D - Table 2** of this report.

3.0 RESULTS

3.1 Recognized Environmental Conditions

CEM performed a hazardous materials visual inspection of the Target Property for evidence of potential RECs. All photographs taken during the site inspection are presented in **Appendix C**.

3.1.1 Drums and Storage Containers

During the site reconnaissance, CEM did not observe any drums or storage containers at the Target Property.

3.1.2 Above Ground Storage Tanks

CEM inspected the Target Property for evidence of ASTs, such as concrete pads, containment walls, pedestals, storage tank fill pipes, storage tank vent pipes, or steel support structures. During the site reconnaissance, CEM did not observe any evidence of an AST at the Target Property.

3.1.3 Underground Storage Tanks

CEM inspected the Target Property for evidence of USTs, such as vent pipes, fill caps, fuel pumps, or concrete islands. During the site reconnaissance, CEM did not observe any evidence of existing or historical USTs at the Target Property.

3.1.4 Household Hazardous Waste

Household hazardous waste (HHW) includes items that are typically found in buildings and are used for standard cleaning and maintenance activities. These wastes include (but are not limited to) interior and exterior paints, pesticides, herbicides, fertilizers, small volumes of petroleum products (used to maintain and repair internal combustion engines), propane tanks, and batteries. Additionally, smoke detectors have been listed as HHW (due to many of the detectors utilizing ionization technology which includes a chamber containing radioactive material incorporated into a gold matrix). EPA's household waste program encourages that these materials be segregated from the typical household waste. During the site reconnaissance, CEM did not observe any household hazardous wastes at the Target Property.

3.1.5 Polychlorinated Biphenyls

Polychlorinated Biphenyls (PCBs) are toxic coolants or lubricating oils used in some electrical transformers, fluorescent light fixtures, electrical panels, and similar equipment. PCB content in electrical transformers has been categorized into three classifications by the federal government. Those units that contain less than 50 parts per million (ppm) are defined as non-PCB. Units that contain between 50 ppm and less than 500 ppm PCBs are defined as PCB-contaminated. Units with a PCB content of 500 ppm and greater are classified as PCB transformers. Fluorescent light ballasts manufactured prior to 1979 may also contain PCBs if not labeled otherwise. During the site reconnaissance, CEM did not observe any fluorescent light fixtures at the Target Property.

3.1.6 Mercury-Containing Devices

Mercury-containing thermostats and compact fluorescent light bulbs (CFLs) are considered to be universal wastes and have to be stored, transported, and disposed of in accordance with the EPA regulations listed in 40 CFR Part 273. During the site reconnaissance, CEM did not observe any mercury-containing devices at the Target Property.

3.2 Asbestos-Containing Materials Analytical Data

Building demolition activities have the potential to produce hazardous wastes (asbestos-containing fibers) if ACBMs are disrupted or removed. Based on the EPA definition, a material that contains greater than one percent asbestos fibers by volume is considered ACBM, and must be handled according to Occupational Safety and Health Administration (OSHA) and EPA regulations (if disturbed). ACBM is categorized as friable (capable of being crumbled, pulverized, or reduced to powder by hand pressure) and non-friable (incapable of reducing to powder by hand pressure). Friable ACBM has a greater potential for the release of fibers to the atmosphere and a greater concern to human health.

During the survey, CEM identified two homogeneous materials suspected of potentially containing asbestos on the interior of the structures and two homogenous materials identified on the exterior of the structures. A summary of the asbestos sampling is included in **Appendix D - Table 1** (including sample ID, base material, color, condition, location, type, friability, estimated quantity, and asbestos content). The complete ACBM survey results are included in **Appendix E** of this report.

After reviewing the ACBM laboratory analytical results, it was determined that no building components were confirmed to contain ACBM. Although no ACBMs were identified, additional suspect materials may be discovered during demolition activities. It is recommended that any additional suspect material discovered during the demolition activities be tested for the presence of ACBM, unless additional information warrants otherwise.

3.3 Lead-Based Paint Screening Analytical Data

Building demolition activities have the potential to produce hazardous wastes (lead-containing dusts) if lead-containing paint or components are disrupted or removed. Based on the COMAR definition, any paint that contains lead concentrations greater than or equal to 0.7 mg/cm² is considered to be LBP.

During the survey, all painted surfaces were sampled for LBP and XRF testing identified lead concentrations greater than or equal to 0.7 mg/cm². A summary of the LBP screening results are included in **Appendix D - Table 2** of this report. The complete LBP survey results are included in **Appendix F** of this report.

The following building components were found to contain detectable amounts of lead above the standard established by the State.

- The metal ceiling and ceiling components in the Boxing Studio (located at the rear of the gym, along the eastern-most exterior wall).

OSHA regulates all activities that disturb lead-based paint. All construction work, including demolition of materials containing lead, is regulated by the OSHA 29 CFR 1926.62 Interim Final Lead Regulation. OSHA regulations require training, personal protective equipment, and personal air monitoring for workers when conducting activities that disturb lead-based paint/lead-containing materials.

As the surveyed buildings are planned to be demolished, lead-based paint abatement is not required prior to the demolition activity. However, the demolition waste is required to be tested in accordance with EPA's Toxicity Characteristic Leaching Procedure (TCLP) to determine if the waste is hazardous and disposed of accordingly. The hazardous waste criteria for lead is established under the Federal Resource Conservation and Recovery Act (RCRA) - Subtitle C as 5.0 milligrams per liter (mg/L) in samples analyzed according to the TCLP as listed in CFR 40 Part 261. DAC's selected construction contractor shall be responsible for the proper disposal of any hazardous wastes that fails the TCLP test. Metal components coated with LBP, which will be recycled as scrap metal, would not be required to be sampled prior to removal from the site.

4.0 CONCLUSIONS

According to the data collected as part of this Regulated and Hazardous Materials Survey, the following RECs (associated with the hazardous materials inspected) were identified at the Target Property.

- All of the painted surfaces identified on the ceiling of the boxing studio room tested positive for lead paint.

5.0 RECOMMENDATIONS

Many of the hazardous materials identified at the Target Property have been proven to be carcinogenic and would present a considerable risk to worker health and safety if significant exposure was to occur. Therefore, the data presented in this report should be considered during the planning phase of the proposed demolition activities to determine which protocols would be required during the handling and disposal of the encountered hazardous materials.

- No ACBM were encountered during the Regulated and Hazardous Materials Survey. Any suspected ACBM encountered during the demolition activities should be treated as ACBM, unless further testing proves otherwise.

- Based on the results of the LBP inspection, all identified ceiling components found in the boxing studio room should be treated as LBP building components for disposal purposes, unless further testing proves otherwise.
- CEM recommends collecting a representative sample of demolition debris for the purposes of waste characterization prior to disposal. The representative sample(s) should be submitted to a laboratory for analysis according to the Toxicity Characteristic Leaching Procedure (TCLP). Based on the results of the TCLP analysis, the wastes should be handled in accordance with all applicable federal, state and local regulations.

6.0 LIMITATIONS AND RESTRICTIONS

This study was limited to observations made during the inspection of the Target Property. This study was performed to identify potential liabilities associated with the current site conditions. CEM cannot be held liable for the discovery or elimination of hazards encountered that may potentially cause damage, accidents or injuries. The recommendations rendered from work performed in no way eliminate hazards or DAC's obligation to federal, state or local laws. The property owner is solely responsible for notifying the proper authorities of any conditions that violate current laws and regulations.

Data and information regarding current site conditions and operations have been provided in part by DAC, other property owners, and regulatory or permitting agencies. CEM has assumed that all data and reports are complete and factually correct. The conclusions rendered from these data and information are subject to professional opinion, and thus could result in different interpretations. This work has been performed in accordance with generally accepted environmental practices. No other warranty, expressed or implied, is made.

APPENDIX A

LIST OF ACRONYMS

LIST OF ACRONYMS

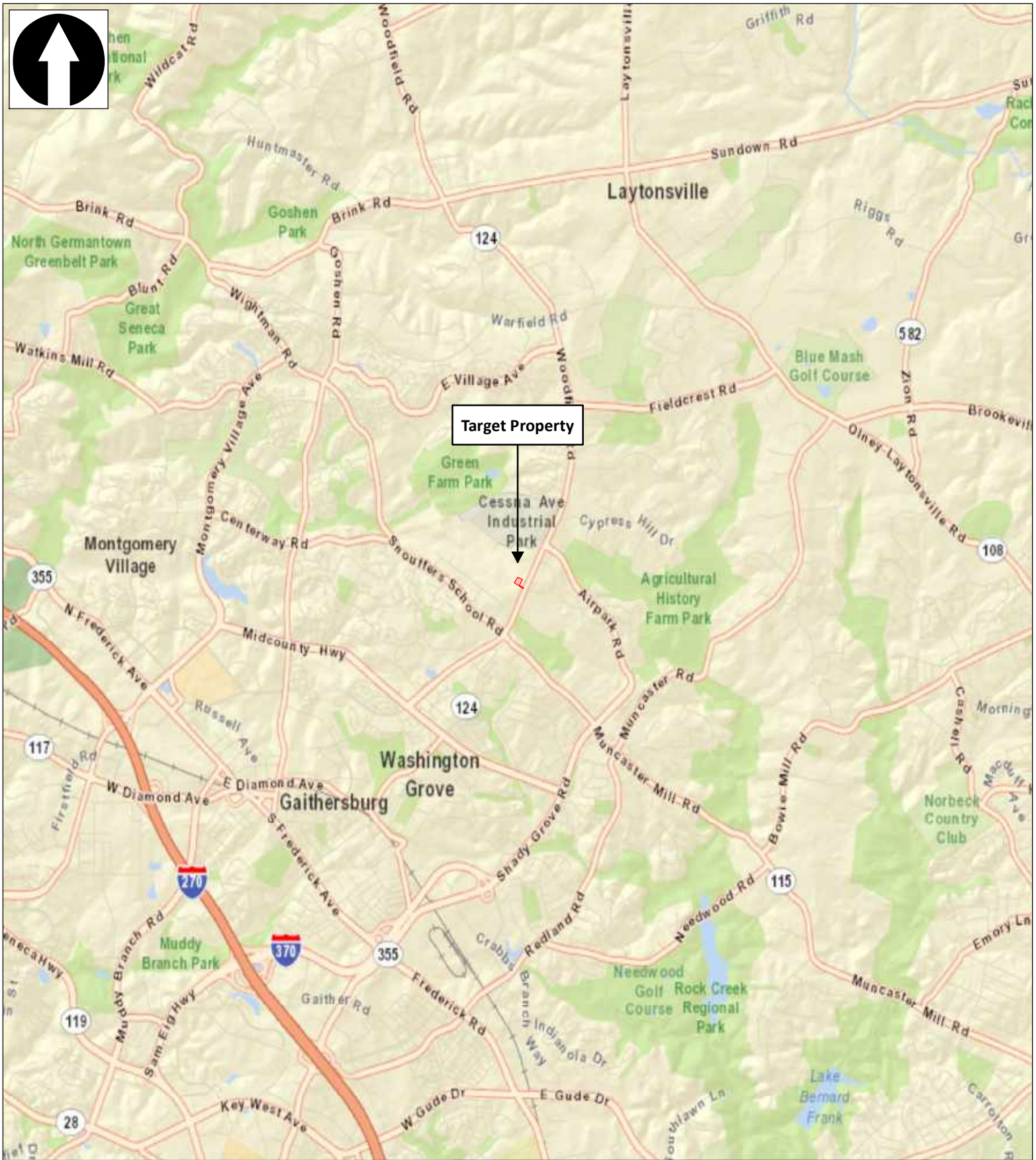
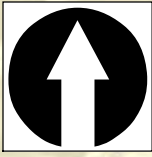
ACBM	Asbestos-Containing Building Materials	OSHA	Occupational Safety and Health Administration
AHERA	Asbestos Hazard Emergency Response Act		
AST	Above-Ground Storage Tank	PCB	Polychlorinated Biphenyls
CEM	Chesapeake Environmental Management, Inc.	PLM	Polarized Light Microscopy
		PPM	Parts per Million
CERCLA	Comprehensive Environmental Response, Compensation, and Liability Act of 1980	RCRA	Resource Conservation and Recovery Act of 1976
		REC	Recognized Environmental Condition
CFL	Compact Fluorescent Light		
CFR	Code of Federal Regulations	TCLP	Toxicity Characteristic Leaching Procedure
COMAR	Code of Maryland Regulations		
DAC	Delta Airport Consultants	TSI	Thermal System Insulation
EPA	Environmental Protection Agency	UST	Underground Storage Tank
ESA	Environmental Site Assessment	XRF	X-Ray Fluorescence
FAA	Federal Aviation Administration		
HHW	Household Hazardous Waste		
HUD	Housing and Urban Development		
LBP	Lead-Based Paint		
MDE	Maryland Department of the Environment		

APPENDIX B


FIGURES

Figure 1 – Target Property Location Map

Figure 2 – Target Property Overview Map



LEGEND:

 Target Property (Phase I ESA Target Property #2)



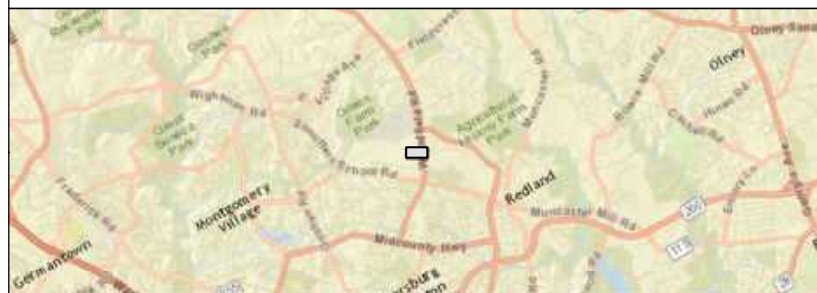
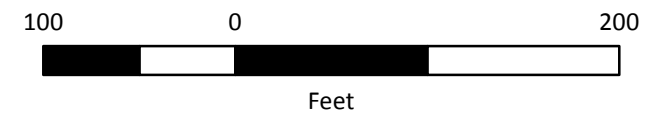
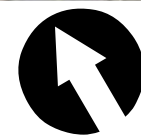
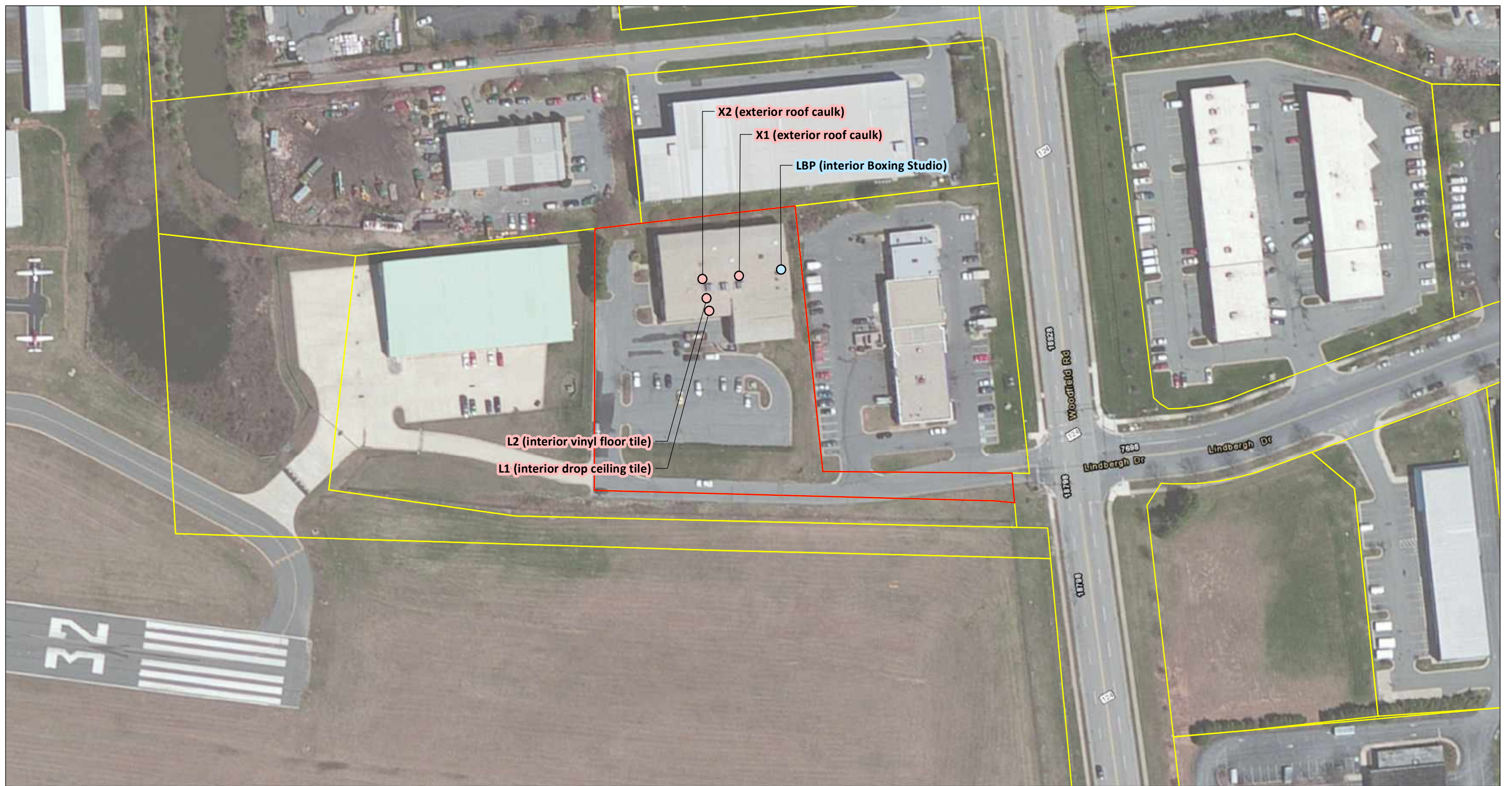
REGULATED HAZARDOUS MATERIALS SURVEY
Montgomery County Airpark Parcels
18810 Woodfield Road, Gaithersburg, Maryland

Map Title:
Figure 1
Target Property Location Map

Data Source:
ESRI

Date: July 2016

Scale: 1" = 0.5 mile



LEGEND:

- Target Property Boundary
- Adjacent Parcel Boundary
- Asbestos Sampling Points (Positive)
- Lead Sampling Points (Positive)



REGULATED HAZARDOUS MATERIALS SURVEY
 Montgomery County Airpark Parcels
 18810 Woodfield Road, Gaithersburg, Maryland

Map Title:
 Figure 2
 Target Property Overview Map

Data Source:
 ESRI
 Site Inspection Data

Date: July 2016
Scale: 1"=100'

APPENDIX C

SITE PHOTOGRAPHS



Photo 01 - Front Entrance



Photo 02 - Front of Building



Photo 03 - Interior of Building



Photo 04 - HVAC System on Roof (Samples X1 and X2)



Photo 05 - HVAC System on Roof (Samples X1 and X2)



Photo 06 - HVAC System on Roof (Samples X1 and X2)



Photo 07 - Sprinkler System



Photo 08 - Drop Ceiling Tile (Sample L1)



Photo 09 - Lead-Positive Ceiling (Boxing Studio)



Photo 10 - Lead-Positive Ceiling (Boxing Studio)

APPENDIX D

ANALYTICAL SUMMARY TABLES

**TABLE 1:
Asbestos Survey Summary Table**

Sample ID	Bldg	Base Material	Color	Condition	Location	Type	Friable (yes/no)	Estimated quantity	Asbestos Content
L1	18810 Woodfield Rd	Ceiling Tile	White	Good	Storage Closet	Misc.	Yes	160 ft ²	NAD
L2	18810 Woodfield Rd	Vinyl Floor Tile	Tan	Good	Storage Closet	Misc.	No	60 ft ²	NAD
X1	18810 Woodfield Rd	Caulk	Gray	Good	Roof - HVAC Unit	Misc.	No	1 ft ²	NAD
X2	18810 Woodfield Rd	Caulk	Black	Good	Roof - HVAC Unit	Misc.	No	2 ft ²	N/A*

NAD: No Asbestos Detected

* - Sample X2 not received by AMA Analytical Services for analysis. Results from X1 provides sampling coverage from HVAC units.

TABLE 2:
Lead-Based Paint Survey Summary Table

Sample ID	Bldg	Substrate	Component	Location	Lead Content mg/cm²
Lead 01	18810 Woodfield Road	Metal	Ceiling	Boxing Studio	1.2

APPENDIX E

ASBESTOS SAMPLING ANALYTICAL RESULTS



Client:	Chesapeake Environmental Management, Inc.	Job Name:	Montgomery County Airpark	Chain Of Custody:	534165
Address:	42 North Main Street	Job Location:	18810 Woodfield Road	Date Analyzed:	6/21/2016
	Bel Air, Maryland 21014	Job Number:	C2015036.002	Person Submitting:	Daniel Danko
		P.O. Number:	Not Provided		

Attention: Daniel Danko

Page 1 of 1

Summary of Polarized Light Microscopy

AMA Sample Number	Client Sample #	Total Asbestos	Chrysotile Percent	Amosite Percent	Crocidolite Percent	Other Asbestos Percent	Mineral Wool Percent	Fiberglass Percent	Organic Percent	Synthetic Percent	Other Percent	Particulate Percent	Sample Type	Sample Color	Homogeneity	Analyst ID	Comments
16113920	L1	NAD	--	--	--	--	30	--	30	--	--	40	CT	Multi	Layered	PC	
16113921	L2	NAD	--	--	--	--	--	--	--	--	--	100	FT	Tan	Homogeneous	PC	
16113922	X1	NAD	--	--	--	--	--	--	2	--	--	98	CK	Gray	Homogeneous	PC	

The following footnotes only apply to those samples which the total asbestos result is flagged with a note number.

- 1 TEM RECOMMENDATION - Please note, due to resolution limitations with optical microscopy and/or interference from matrix components of this sample, results which are reported via PLM as negative or trace (<1%) for asbestos may contain a significant quantity of asbestos. It is recommended that the additional analytical technique of TEM be used to check for asbestos fibers below the resolution limits of optical microscopy.
- 2 MATRIX REDUCTION RECOMMENDATION - Please note, due to interference from the matrix components of this sample, results which are reported via PLM as negative or trace (<1%) for asbestos may contain a significant quantity of asbestos which is obscured from view. It is recommended that the additional preparation technique of gravimetric reduction be performed on this sample to minimize the obscuring effects of matrix components, followed by reanalysis by PLM and/or TEM.

Analysis Method - EPA/600/R-93/116 dated July 1993

NAD = "No Asbestos Detected" TR = "Trace equals less than 1% of this component"

Uncertainty: For samples containing asbestos in range of 1-10%
the CV is 0.43, 11-35% CV=0.55, >35 CV=0.23

All results are to be considered preliminary and subject to change unless signed by the Technical Director or Deputy.

Technical Director

Peerawut Chaikenee

Analyst(s)

Peerawut Chaikenee

This report applies only to the sample, or samples, investigated and is not necessarily indicative of the quality or condition of apparently identical or similar products. As a mutual protection to clients, the public, and these Laboratories, this report is submitted and accepted for the exclusive use of the client to whom it is addressed and upon the condition that it is not to be used, in whole or in part, in any advertising or publicity matter without prior written authorization from us. Sample types, locations, and collection protocols are based upon the information provided by the persons submitting them and, unless collected by personnel of these Laboratories, we expressly disclaim any knowledge and liability for the accuracy and completeness of this information. Residual sample material will be discarded in accordance with the appropriate regulatory guidelines, unless otherwise requested by the client. NVLAP accreditation applies only to polarized light microscopy of bulk samples and transmission electron microscopy of AHERA air samples. This report must not be used to claim, and does not imply product certification, approval, or endorsement by NY ELAP, AIHA, NVLAP, NIST, or any agency of the US Federal Government. All rights reserved. AMA Analytical Services, Inc.

NVLAP (101143-0) Accredited Laboratory

4475 Forbes Blvd. · Lanham, MD, 20706 · (301) 459-2640 · Toll Free (800) 346-0961 · Fax (301) 459-2643



AMA Analytical Services, Inc.

Focused on Results www.amalab.com
AIHA (#100470) NVLAP (#101143-0) NY ELAP (10920)
4475 Forbes Blvd. • Lanham, MD 20706
(301) 459-2640 • (800) 346-0961 • Fax (301) 459-2643

CHAIN OF CUSTODY

(Please Refer To This
Number For Inquires)

534165

Mailing/Billing Information:

1. Client Name: Chesapeake Environmental Management, Inc.
2. Address 1: 42 N Main Street, Bel Air, MD 21014
3. Address 2: _____
4. Address 3: _____
5. Phone #: 410 893 9016 Fax #: _____

Submittal Information:

1. Job Name: Montgomery County Airpark
2. Job Location: 18810 Woodfield Road
3. Job #: C2015036 002 P.O. #: _____
4. Contact Person: Daniel Danko @ phone # 410 409 1346
5. Submitted by: Daniel Danko Signature: [Signature]

Reporting Information (Results will be provided as soon as technically feasible):

AFTER HOURS (must be pre-scheduled) <input type="checkbox"/> Immediate Date Due: _____ <input type="checkbox"/> 24 Hours Time Due: _____ Comments: _____	NORMAL BUSINESS HOURS <input type="checkbox"/> Immediate <input type="checkbox"/> 3 Day <input type="checkbox"/> Next Day <input checked="" type="checkbox"/> 5 Day + <u>6/21/16</u> <input type="checkbox"/> 2 Day Date Due: _____		REPORT TO: <input type="checkbox"/> Include COC/Field Data Sheets with Report <input checked="" type="checkbox"/> Email: <u>DDANKO</u> @ <u>CEMSCIENCE.COM</u> <input type="checkbox"/> Fax: _____ <input type="checkbox"/> Verbal: _____
	<input type="checkbox"/> Results Required By Noon (Every Attempt Will Be Made to Accomodate)		

Asbestos Analysis

PCM Air - Please Indicate Filter Type:
 NIOSH 7400 (QTY)
 Fiberglass (QTY)

TEM Air - Please Indicate Filter Type:
 AHERA (QTY)
 NIOSH 7402 (QTY)
 Other (specify) _____ (QTY)

PLM Bulk
 EPA 600 - Visual Estimate 4 (QTY)
 EPA Point Count 4 (QTY) **MEM**
 NY State Friable 198.1 (QTY)
 Grav. Reduction ELAP 198.6 (QTY)
 Other (specify) _____ (QTY)

TEM Bulk

ELAP 198.4/Chatfield (QTY)
 NY State PLM/TEM (QTY)
 Residual Ash (QTY)

TEM Dust

Qual. (pres/abs) Vacuum/Dust (QTY)
 Quan. (s/area) Vacuum D5755-95 (QTY)
 Quan. (s/area) Dust D6480-99 (QTY)

TEM Water

Qual. (pres/abs) (QTY)
 ELAP 198.2/RPA 100.2 (QTY)
 EPA 100.1 (QTY)

All samples received in good condition unless otherwise noted.
(TEM Water samples _____ °C)

Metals Analysis

Pb Paint Chip (QTY)
 Pb Dust Wipe (wipe type _____) (QTY)
 Pb Air (QTY)
 Pb Soil/Solid (QTY)
 Pb TCLP (QTY)
 Drinking Water Pb (QTY) Cu (QTY) As (QTY)
 Waste Water Pb (QTY) Cu (QTY) As (QTY)
 Pb Furnace (Media _____) (QTY)

Fungal Analysis

Collection Apparatus for Spore Traps/Air Samples: _____
Collection Media _____
 Spore-Trap (QTY) Surface Vacuum Dust (QTY)
 Surface Swab (QTY) Culturable ID Genus (Media _____) (QTY)
 Surface Tape (QTY) Culturable ID Species (Media _____) (QTY)
 Other (Specify) _____ (QTY)

MISC

Vermiculite
 Asbestos Soil PLM (Qual) PLM (Quan) PLM/TEM (Qual) PLM/TEM (Quan)

SAMPLE INFORMATION

CLIENT ID NUMBER	SAMPLE LOCATION/ IDENTIFICATION	DATE	VOLUME (LITERS)	WIPE AREA	ANALYSIS					MATRIX							
					TEM	PCM	PLM	LEAD	MOLD	AIR	BULK	DUST	WATER AND OTHER	SPORE TRAP	TAPE	SWAB	
L1	White 2'x2' Drop Ceiling Tile	6/14/16					X										
L2	Tan 1'x1' Vinyl Floor Tile	6/14/16					X										
X1	Gray Caulk	6/14/16					X										
X2	Black Caulk	6/14/16					X										

CLIENT CONTACT

(LABORATORY STAFF ONLY)

Date/Time: _____	Contact: _____	By: _____
Sample X-2 not received		
Date/Time: _____	Contact: _____	By: _____
Date/Time: _____	Contact: _____	By: _____

LABORATORY STAFF ONLY: (CUSTODY)

1. Date/Time RCVD: 10/14/16 @ 1300 Via: PO By (Print): [Signature] Sign: [Signature]
2. Date/Time Analyzed: _____ / _____ / _____ @ _____ By (Print): _____ Sign: _____
3. Results Reported To: _____ Via: _____ Date: _____ / _____ / _____ Time: _____ Initials: _____
4. Comments: _____

APPENDIX F

LEAD-BASED PAINT SAMPLING RESULTS



Comprehensive
Inspection
and
Consulting
Services

June 20th, 2016

Brownfield
Redevelopment

Mr. Joseph Sawicki, PG
Chesapeake Environmental Management, Inc.
42 North Main Street
Bel Air, MD 21014

Asbestos/
Lead-Based Paint

IAQ/Mold

RE: 18810 Woodfield Road; Gaithersburg, Maryland 20879

Risk Assessment

Dear Mr. Sawicki,

Phase I ESAs

Arc Environmental performed a lead-based paint inspection at the property referenced above on June 14th, 2016. The purpose of this inspection was to determine the lead concentrations of representative painted building components located throughout the property. This inspection was performed by Mr. Sean Walter; a State of Maryland accredited Lead-based Paint Inspector (MDE#15757).

Design/Build

Monitoring

Regulatory
Compliance and
Negotiation

A RMD LPA-1 x-ray fluorescence ("XRF") spectrum analyzer, serial #2613, was utilized in the "quick" mode to perform the testing. Initial and final calibration check readings were completed to ensure the XRF instrument remained within acceptable precision and accuracy levels throughout the entire inspection process.

USTs/ASTs

Site
Characterization
and Remediation

As detailed on the "XRF Lead-Based Paint Inspection Data" sheets, the following components were found to contain lead concentrations that exceeded the Maryland standard of >0.7 mg/cm²:

Hazardous
Waste Sites
(CERCLA/RCRA)

- boxing studio – ceiling

Building
Assessments

For a complete listing of all the XRF readings, please refer to the attached "XRF Lead-Based Paint Inspection Data" sheets. Any renovation, remediation, or improvement projects performed on this property that will impact the boxing studio ceiling should do so in accordance with the applicable federal, state, and local regulations governing the disturbance of lead-based paint.

Offices

If you have questions, comments, or concerns about the material presented in this letter, please do not hesitate to contact us at (410) 659-9971.

Baltimore, MD

Respectfully Submitted,

Washington, DC


Chris White
Division Manager

XRF Lead-Based Paint Inspection Data



Client: Chesapeake Environmental Address: 18810 Woodfield Road ; Gaithersburg , MD

date: 6/14/16

	friger	front store	office hallway	front right office	rear right office	rear right office	Electric Storage	Kids Club	Kids Club BA	Main Gym	Bayo Studio
door	A 0.0	V 0.0	C 0.0	C 0.0	A 0.0	A 0.0	B 0.0	D 0.0	A 0.0	A 0.0	B 0.4
door casing											0.5
door jamb	↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ ↓	↓ 0.5
door transom											
window sash											D 0.0
window sill				A 0.0	B 0.0	nc		B 0.0			D 0.0
window casing											
window well											
baseboard											
A wall	A NC	A 0.0	A 0.0	A 0.0	A 0.0	A 0.0	A 0.0	A 0.0	A 0.0	A 0.0	A 0.4
B wall	B 0.0	D ↓	B ↓	B ↓	B ↓	B ↓	B ↓	B ↓	B ↓	D ↓	B 0.0
C wall	C NC	C ↓	C ↓	C ↓	C ↓	C ↓	C ↓	C ↓	C ↓	C ↓	C 0.0
D wall	D 0.0	D ↓	D ↓	D ↓	D ↓	D ↓	D ↓	D ↓	D ↓	D ↓	D 0.0
ceiling	-	- 0.0	- 0.0	- ↓	- ↓	- ↓	- ↓	- ↓	- ↓	- ↓	- 1.2
closet door								C 0.0			
closet door jamb								↓ ↓			
closet door casing								↓ ↓			
closet shelf											
closet shelf support								↓ ↓			
radiator											
crown molding		D 0.0									
chair rail											
mantle											
tub											
floor	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0	- 0.0
cabinet											
Main slot								C 0.0			
Window											D 0.0
Beam											- 0.2
Pass										- 0.0	
steel supports										- 0.0	

Grid fields indicate the test location and the sample reading (given in units of milligram per square centimeter). Component Code Key: NC = No component; NP = Not painted; CAR = Carpeted; COV = Covered.

Initial Calibration Check:	1) 0.8	2) 0.8	3) 0.8	Average = 0.8	Pass or Fail
Final Calibration Check:	1) 0.8	2) 0.8	3) 0.8	Average = 0.8	Pass or Fail

XRF Lead-Based Paint Inspection Data



Client: Chesapeake Environmental Address: 18810 Woodfield Road ; Gaithersburg , MD

date: 6/14/16

	Front Ext	Right Ext	Rear Ext	Left Ext	Main Floor	1st	2nd Hall	Utility St	F. Class	M. class
door	A 0.0	B 0.0	C 0.1	D 0.1	C 0.0			A 0.0	C 0.0	B 0.0
door casing	↓	↓	↓ 0.3	↓ 0.2	↓			↓	↓	↓
door jamb	↓	↓	↓ 0.3	↓ 0.2	↓			↓	↓	↓
door transom										
window sash	A 0.0	B 0.0	C 0.0						A 0.0	
window sill									A 0.0	
window casing										
window well										
baseboard										
A wall	A NP				A 0.0	A 0.0		A 0.0	A 0.0	A 0.0
B wall		B NP			B ↓			B ↓	B ↓	B ↓
C wall			C 0.4		C ↓			C ↓	C ↓	C ↓
D wall				D 0.4	D ↓			D ↓	D ↓	D ↓
ceiling		- 0.0			- NC			- ↓	- ↓	- 0.0
closet door									C 0.0	
closet door jamb									↓	↓
closet door casing									↓	↓
closet shelf										
closet shelf support									↓	↓
stair tread						B cov		D NP		
stair riser						B cov		D 0.2		
stringer						A 0.0		C 0.0		
newel post						A 0.0				
handrail						B 0.0		C 0.0		
baluster										
floor joist										
foundation	A NP	B NP	C 0.4	D 0.4						
fence										
porch ceiling										
porch header	A NP									
porch post										
porch floor										
corner beam	A 0.0									
Rail	A 0.0									
Downsprint	A 0.0									
Service Door	A 0.0									
Door C	A 0.1									
Lintel	A 0.1									

XRF Lead-Based Paint Inspection Data



Client: Chesapeake Environmental Address: 18810 Woodfield Road ; Gaithersburg , MD

date: 6/14/14

	Splinter Room		F. Class stair		F class other		Roof	Mens LR	Womens LR	Cycle Floor				
door	A	0.0	B	0.0	C	0.0	-	0.0	NC	NC	B	0.0		
door casing	↓	↓	↓	↓	↓	↓			C	0.0	A	0.0	↓	↓
door jamb	↓	↓	↓	↓	↓	↓			C	0.0	A	0.0	↓	↓
door transom														
window sash														
window sill														
window casing														
window well														
baseboard														
A wall	A	0.0	A	0.0	A	0.0			A	0.0	A	0.0	A	0.0
B wall	B	↓	B	↓	D	↓			B	↓	B	↓	B	↓
C wall	C	↓	C	↓	C	↓			C	↓	C	↓	C	↓
D wall	D	↓	D	↓	D	↓			D	↓	D	↓	D	↓
ceiling	-	↓	-	↓	-	0.0			-	↓	-	↓	-	↓
closet door														
closet door jamb														
closet door casing														
closet shelf														
closet shelf support														
stair tread			D	0.0										
stair riser			D	0.0										
stringer			A	0.0										
newel post														
handrail			A	0.0										
baluster														
floor joist														
foundation														
fence														
porch ceiling														
porch header														
porch post														
porch floor														
L & D DEK							-	0.0						
Pipe							-	0.0						

THIS IS TO CERTIFY THAT
Arc Environmental, Inc.

**HAS MET THE LEAD PAINT SERVICES
ACCREDITATION REQUIREMENTS FOR**

Lead Paint Inspection Contractor

04 08 2018

EXPIRATION DATE _____

TRAINING PROVIDER _____

Arlene Miller

ADMINISTRATOR, LEAD PAINT ACCREDITATION
MARYLAND DEPARTMENT OF THE ENVIRONMENT

2/5/14
DATE

COURSE DATE _____

STATE OF MARYLAND

Certificate # 4459 _____

Application for reaccreditation shall be submitted to MDE 60 days prior to accreditation expiration indicated on this certificate.

THIS IS TO CERTIFY THAT

Christopher John White

HAS MET THE LEAD PAINT SERVICES
ACCREDITATION REQUIREMENTS FOR

Risk Assessor

04 08 2018

EXPIRATION DATE

TRAINING PROVIDER Aerosol Monitoring & Analysis,
Inc.

Hilary Miller

ADMINISTRATOR, LEAD PAINT ACCREDITATION
MARYLAND DEPARTMENT OF THE ENVIRONMENT

2/5/16

DATE

04 27 2015

COURSE DATE

STATE OF MARYLAND

7474

Certificate #

Application for reaccreditation shall be
submitted to MDE 60 days prior to
accreditation expiration indicated on this
certificate.

THIS IS TO CERTIFY THAT

Sean Donovan Walter

**HAS MET THE LEAD PAINT SERVICES
ACCREDITATION REQUIREMENTS FOR**

Inspector Technician

05 31 2018

EXPIRATION DATE

TRAINING PROVIDER Aerosol Monitoring & Analysis,
Inc.

Hilary Miller

**ADMINISTRATOR, LEAD PAINT ACCREDITATION
MARYLAND DEPARTMENT OF THE ENVIRONMENT**

6/3/16

DATE

03 28 2016

COURSE DATE

STATE OF MARYLAND

15757

Certificate #

Application for reaccreditation shall be submitted to MDE 60 days prior to accreditation expiration indicated on this certificate.

APPENDIX E

Preliminary Design Engineering Report



Concept Plan Narrative & Calculations

Supplemental Environmental Assessment Land Acquisition and Obstruction Removal

**Montgomery County Airpark
Gaithersburg, Maryland**

AIP Project No. VA 14115
MAA Project No. MAA-GR-16-013
Delta Project No. VA 14115

Final Submittal: July 2017

Prepared For:

Montgomery County Revenue Authority
101 Monroe Street, Suite 410
Rockville, Maryland 20850
(301) 762-9080

Prepared By:

Delta Airport Consultants
9711 Farrar Court, Suite 100
Richmond, VA 23236
(804) 275-8301



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Appendices

Appendix 1	Cross Sections Exhibit
Appendix 2	Environmental Site Design Summary
Appendix 3	Stormwater Concept Plan
Appendix 4	2011 Preliminary Engineering Design Report Exhibits
Appendix 5	FAA Review Comments on 2011 Preliminary Engineering Design Report



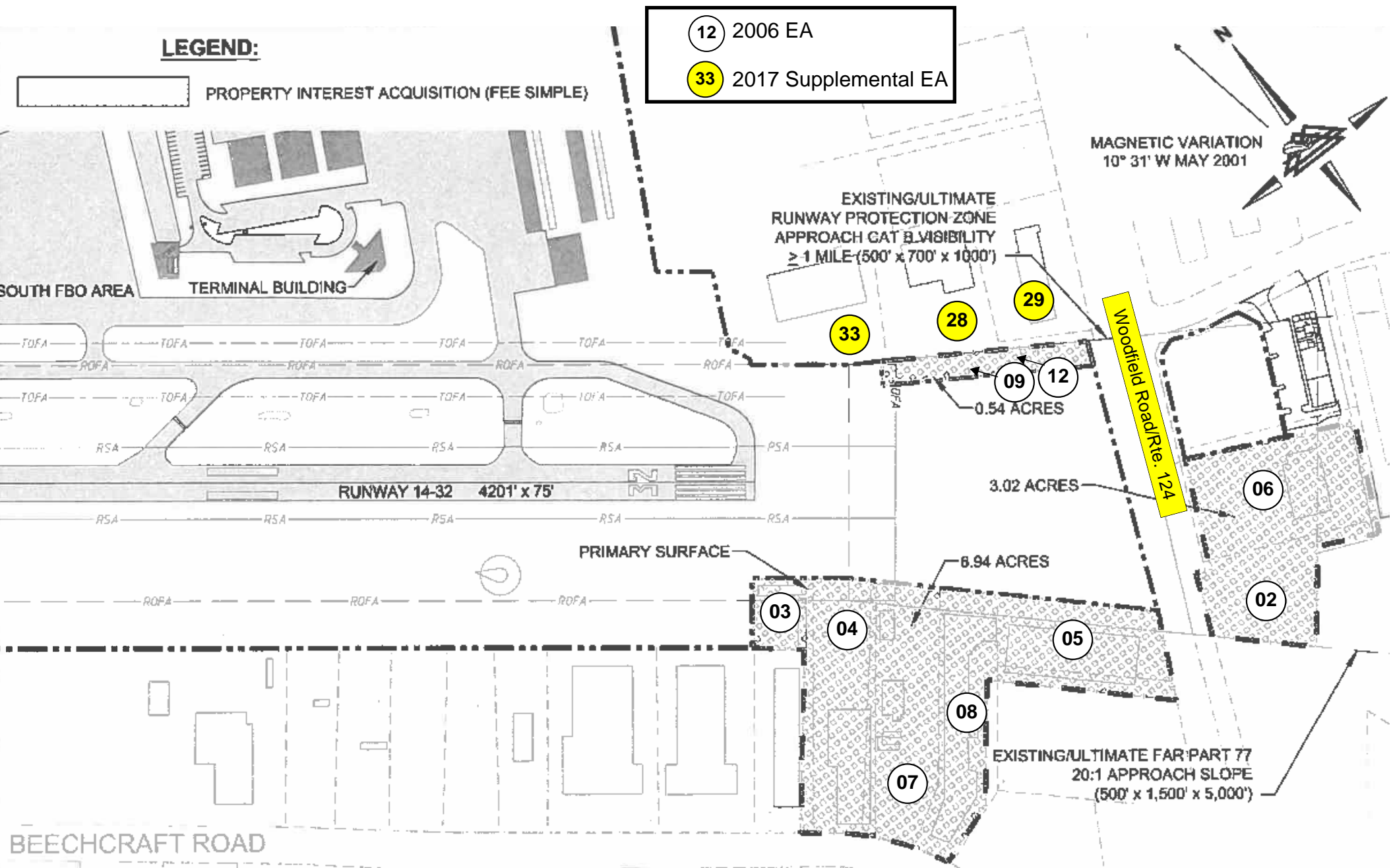
Executive Summary

The Montgomery County Airpark (GAI) is a general aviation airport in Gaithersburg, Maryland which is owned and operated by the Montgomery County Revenue Authority (MCRA). The Airpark is located approximately three miles from the City of Gaithersburg and is accessible from Maryland Route 124, via Airpark Road. There is one runway at the Airpark, Runway 14/32, which is 4,202' long and 75' wide.

An Environmental Assessment (EA) was completed and a Finding of No Significant Impact (FONSI) was issued by the Federal Aviation Administration (FAA) in 2006, for proposed improvement projects at GAI including the grading of terrain and buildings within the protected airspace for Runway 14/32 and the elimination of obstructions to the 14 Code of Federal Regulations (CFR) Part 77 surfaces. 14 CFR Part 77 regulates the safe, efficient use, and preservation of navigable airspace.

The 2006 EA identified the existing access road which provides access from Parcels 33, 28, and 29 to Woodfield Road (State Route 124) as a penetration to the Part 77 primary surface and a violation to Runway Object Free Area (ROFA) design standards, and the parking lot on Parcel 28 as a penetration to the Part 77 transitional surface. The 2006 EA recommended that both the road and the parking lot be lowered to mitigate the penetrations. Figure 1 depicts the parcels within the project study areas.





Source of base exhibit: Exhibit 2-4, 2006 EA

Figure 1, 2006 EA and 2017 Supplemental EA Study Areas

Montgomery County Airpark (GAI)
2017 Supplemental Environmental Assessment



not to scale

A Preliminary Engineering Design Report (PER) was prepared in 2011 which concluded that lowering the access road and parking lot while allowing the current land uses to remain, as was recommended by the 2006 EA, is not feasible. Per the PER, “the lowering of vehicle pavements to be clear of Part 77 surfaces would create roadway grades and cross slopes that exceed state and local design standards or prevent access to the current buildings.” Instead, the 2011 PER recommended that the access road be relocated and lowered/modified, the buildings and parking lot pavement be demolished and the associated businesses be relocated. The 2011 PER proposed the acquisition of two adjacent parcels, Parcels 28 and 29, to accommodate the construction, and concluded that adjacent Parcel 33 can remain at its current use as a hangar with its vehicle access relocated.

A preliminary design meeting for the PER was held in December 2009 with MCRA, FAA, Maryland Aviation Administration (MAA) and Delta Airport Consultants, Inc. in attendance. At the meeting, it was noted that while the access road is currently privately owned, in order to be considered a private road by FAA, access must be restricted to vehicles 10 feet or less in height. Since public access to the road is not restricted (for example, in the form of a sign or physical overhead barrier), FAA indicated a 15’ clearance is applicable to the access road. It was also discussed at the meeting that Montgomery County standards for driveway grades would prevent the road from being lowered to provide 15’ of clearance, as it would result in grades in excess of maximum allowed by the County. Relocation and lowering of the access road would likely require a temporary detour road and temporary entrances to each property. Delta agreed to coordinate with Montgomery County Permitting Services (MCPS) and Maryland Department of Transportation (MDOT) to determine if accessing Parcel 28 from the east side would be feasible. It was discussed at the meeting that, if it is determined to not be feasible, then acquisitions of portions of the properties immediately east of Parcel 33 may be required in order to allow the construction of a new access road from the east to serve Parcel 33.

However, the final 2011 PER did not depict a 15’ clearance over the access road. Per the PER, “A public road requires 15 feet of clearance above the travelled way. It was determined that the public access road cannot be lowered to provide Part 77 clearance. Therefore, lowering the existing access road to maintain public access to all three parcels is not carried forward for evaluation in this study.” Appendix B of the PER did include options to lower the existing access road to minimize the impact to Parcels 28 and 29 and to reduce penetrations to the Part 77 surfaces. However, each option would require a Modification of Standard (MOS). The FAA has advised that there are no regulatory mechanisms available to modify 14 CFR Part 77 standards. The Preliminary Plans included as Appendix D of the final PER identify the entrance to the access road as a private entrance (see Appendix 4). FAA review comments on the 2011 PER from January 2011 are included as Appendix 5.

As stated during the December 2009 pre-design meeting, the FAA and Owner desire that the access road remain a public entrance which would require a 15’ clearance per 14 CFR Part 77 standards. This 2017 PER re-visits the Preliminary Plans from the approved 2011 PER to investigate the possibility of realigning the access road to mitigate the Part 77 terrain obstructions while maintaining public access. The proposed relocated access road is also required to meet ROFA and Runway Protection Zone (RPZ) standards.

This PER has been prepared in conjunction with the 2017 Supplemental Environmental Assessment (EA) for Montgomery County Airpark (GAI), for the proposed acquisition of adjacent Parcels 28 and 29, and the removal of obstructions to airspace on these parcels.



The existing access road intersection grades do not meet 15' of clearance to the Part 77 surface. If the entrance is not shifted or relocated, the 15' of clearance for a public roadway cannot be met. Utilizing the maximum grade criteria for public entrances from MDOT, only 13' to -14' of clearance to the Part 77 surface would be provided at the current entrance location.

Since the existing access road alignment cannot meet the 15' clearance required by 14 CFR Part 77, new road alignments were evaluated. The proposed road alignment has been shifted 20' north to achieve 15' clearance. By shifting the road north, the road will be outside the approach surface, and under the 7:1 transitional surface. This provides the additional clearance needed to obtain 15' between the access road surface and the Part 77 imaginary surface. This site grading will allow the access road to be lowered 15' below the Part 77 surface. This proposed road shift meets the design requirements of the American Association of State Highway Transportation Officials (AASHTO).

After taking into account both MDOT and FAA design standards, the design effort found that providing 15' of clearance is possible by re-grading the entire site of Parcels 28 and 29, shifting the road entrance northward, and constructing a maximum 6 percent grade for the access road to Route 124. The proposed entrance profile was designed based on MDOT entrance standards for maximum grade for commercial entrances.

In January 2017, Delta initiated coordination with Sean Johnson, the Project Manager at the Maryland State Highway Administration who is responsible for Woodfield Road (State Route 124) on the east side of the Airpark. Delta intended to confirm whether a 20' shift of the access road entrance is possible.

During a telephone conversation, Mr. Johnson responded that it is possible for the entrance road to be modified, but that he could not provide specific comments without reviewing engineering plans. In addition, shifting the road alignment would require analysis of traffic volumes and signal timing at the intersection. He confirmed that the Maryland State Highway Administration considers AASHTO standards to be the governing design standards. Review and approval by the Maryland State Highway Administration is beyond the scope of this PER effort and will be finalized at the next stage of design.

This shifted road alignment would require the relocation (or removal) of the traffic light pole at the intersection of Woodfield Road and the existing access road. This light pole is a current obstruction to the Part 77 approach surface, as shown on the FAA's 20:1 visualization tool. Removing or relocating this pole will aid in the reduction of airfield obstructions.

In conclusion, shifting the road entrance in order to provide 15' clearance required by 14 CFR Part 77 for public roads is feasible. The project to construct the shifted access road will require intersection analysis, engineering design, and approval from the Maryland State Highway Administration.

This report evaluates the grading and access road alignment necessary to meet FAA Design Standards, and includes a stormwater plan for the proposed development. This preliminary design effort uses Environmental Site Design (ESD) practices that meet the standards of the Maryland Stormwater Design Manual provided by the Maryland Department of the Environment (MDE). The Proposed Action involves the realignment of an access road, and the demolition of terrain (pavement) obstructions, and would result in a net decrease of impervious surface in the project area. After an evaluation of the different



SWM/ESD practices, it was evident that non-rooftop disconnect and grassed swale were the most appropriate practices that could be utilized at this site. The conceptual stormwater design included in this report will be coordinated with Montgomery County and MDE during the design phase, and stormwater mitigation practices will be confirmed at that time.



Site Design

The study area includes Parcels 33, 28, and 29, three privately-owned parcels adjacent to the Airpark (see Figures 1 through 4). The parcels are heavily developed with industrial-type uses. Parcel 33 is owned by W.M. Rickman Construction Co., LLC and houses an aircraft hangar. Parcel 28 is owned by PV Airpark LLC with one two-story building, currently used as a gym. Parcel 29 is a condominium business with three businesses, owned by Merchacq 7 LLC.



Figure 2: Access Road to Parcel 33 and Hangar, facing northwest





Figure 3: Parcel 28, facing northeast



Figure 4: Parcel 29, facing northeast toward Woodfield Road



As previously stated, portions of the existing access road that provide access to Parcels 33, 28 and 29 are currently obstructions to the Part 77 surface of Runway 14-32.

The 2011 PER stated that MDOT design standards limit roadway centerline profile grades approaching an intersection to a maximum of 5 percent. The study concluded that the 15 feet clearance for public roads could not be met if the project were designed to conform to both MDOT and FAA Part 77 requirements. The previous study did not appear to consider re-grading the entire site for future airfield development to meet the Part 77 requirements.

The current MDOT Entrance Design Standards, *Section 11.3.1 Maximum Grade*, state that the profile for the first 40 feet of an entrance must be at 3 percent or less, and 6 percent for the next 40 feet. The MDOT standard for Grade Breaks is 8 percent between State Highway pavement and the Entrance Profile. The current Concept Plan utilizes the MDOT Entrance Design Standards and has a maximum 6 percent centerline grade.

In addition to MDOT standards, this PER evaluates the site grading and access road alignment to meet 14 CFR Part 77 standards, which require that at least 10 feet of clearance be provided over private roads and 15 feet clearance over public roads, to accommodate the height of the highest mobile object that would normally traverse the road. The proposed concept allows the access road 15 feet of clearance below the Part 77 Surface, which would allow vehicles to utilize the access road as a public road without penetrating the airspace. Appendix 1 depicts the Cross Sections for the proposed site grading as well as the 15 feet of clearance.

The grading plan also evaluated the area for potential future non-aeronautical revenue producing development for the airport. The entire site was lowered using a 3 to 1 slope to allow for future airfield development beneath the Part 77 Surface. This area could potentially be enlarged to allow for additional buildable space using a retaining wall located at the property line. The proposed relocated access road is also required to meet ROFA and RPZ standards. FAA design standards require clearing the ROFA of above-ground objects protruding above the nearest point of the Runway Safety Area (RSA), other than objects that need to be located in the ROFA for air navigation or aircraft ground maneuvering purposes, and aircraft which are taxiing or holding. The areas within the ROFA are to be graded to meet FAA design standards; this is to include the relocation of an existing fence and existing above-ground utilities. RPZs should be kept clear of people and property on the ground to prevent incompatible objects and activities within its boundaries. The proposed road relocation maintains design standards within the RPZ, including removing the access road from within its boundaries.

Stormwater Design

This preliminary design effort evaluated the property Outfalls, Environmental Site Design practices, and preliminary Storm Sewer sizing calculations. Calculations and exhibits can be found on the Concept Plan Sheets, and attached appendices (see Appendices 2 and 3). The Stormwater Design was based on standards of ESD and Maryland State stormwater standards. The water quality measures that are proposed with this concept plan are non-rooftop disconnect and grass swales. The Stormwater Design is summarized below:



Outfalls

Two points of outfall for stormwater runoff were identified on the project site. Flow from the two outfalls join a tributary to Cabin Branch shortly after exiting airport property. These two outfalls are shown on Sheet 2 of the Concept Plan (see Appendix 3).

Outfall 1 stormwater runoff exits airport property from a pond, which is not located within the study area. The outflow enters into an off-site stormwater management (SWM) basin immediately downstream.

Outfall 2 exits at the north side of the Rickman property and continues along a swale to the SWM basin immediately downstream.

Environmental Site Design Process

The stormwater concept plan for this project was developed using the principles of ESD.

Based on the Maryland Stormwater Design Manual Chapter 5, *Environmental Site Design Section 5.5.2.*, this project meets the Redevelopment criteria based on the existing 40% of the site being impervious ground cover. The existing site contains commercial buildings and impervious parking lots (see Appendix 4). The Redevelopment Criteria requires that a combination of impervious area reduction and ESD implementation for at least 50% of the existing impervious areas. Since this project has a proposed reduction in impervious area, the treatment area is reduced. This decrease in site impervious area is subtracted from the 50% existing impervious area that must be treated through ESD practices.

A target ESD volume was calculated using “Water Resources Technical Policy No. 5”, produced by the Montgomery County Department of Permitting Services. P_E was determined by evaluating the project limits, the amount of impervious area (existing and proposed), and the percentages of different hydrologic soil group covers that are present. P_E was then applied to the proposed disturbed area as a result of the project. R_V was determined based on the density of imperviousness inside the proposed disturbed area. Results and backup for the calculation of the ESD volume can be found on Sheet 2 of the revised Concept Plan.

After calculating the target ESD volume, SWM practices (that qualify as ESD practices) were evaluated for practicality. The following is a summary of this report’s evaluation of the SWM practices:

Alternative Surfaces

Alternative surfaces include Green Roofs, Permeable Pavements, and Reinforced Turf.

Green Roofs were eliminated since there are no proposed buildings in the immediate future.

Permeable Pavements and Reinforced Turf were also eliminated. These surfaces would not have the strength necessary to serve the vehicle loads anticipated for the owner of Parcel 33.



Non-Structural

Non-Structural practices that were evaluated included Disconnection of Rooftop Runoff, Disconnection of Non-Rooftop Runoff, and Sheetflow to Conservation Areas.

Disconnection of Rooftop Runoff was eliminated as there are no proposed buildings in the immediate future.

Sheetflow to Conservation Areas was found not to be an option; there are no Conservation Areas within the project limits.

Disconnection of Non-Rooftop Runoff was found to be a practical solution that could be utilized along the length of the Proposed Access road. This works particularly well in the grass shoulders of the road.

Grassed Swale was found to be practical in lieu of curb and gutter for the access road. The Grassed Swale channel would provide conveyance, water quality treatment of the Stormwater.

Micro-Scale

Micro-scale practices that were evaluated included Rainwater Harvesting, Submerged Gravel Wetlands, Landscape Infiltration, Infiltration Berms, Dry Wells, Micro-Bioretenion, Rain Gardens, Swales, and Enhanced Filters. Grass swales were found to be viable.

Rainwater Harvesting was determined to be not applicable to the project, as there are no proposed buildings in the immediate future. This eliminates the sources of collection for rainfall harvesting.

Submerged Gravel Wetlands were found to be a viable design option but were not selected in the initial design. The performance of a submerged gravel wetland is tied to the use of wetland plants.

Landscape Infiltration is possible with the appropriate plantings that do not attract wildlife; however for this project grass swales and non-rooftop disconnect were found to be more appropriate and cost effective, with lower long-term maintenance.

Dry Wells were found not to be a viable design option. Dry Wells are stone chambers that are intended to provide temporary storage for rooftop runoff and have a maximum allowable drainage area of 1,000 square feet. There are no proposed buildings with this project in the immediate future.

Micro-Bioretenion and Raingardens are possible with the appropriate plantings that do not attract wildlife; however for this project grass swales and non-rooftop disconnect were found to be more appropriate and cost effective, with lower long-term maintenance.

Results



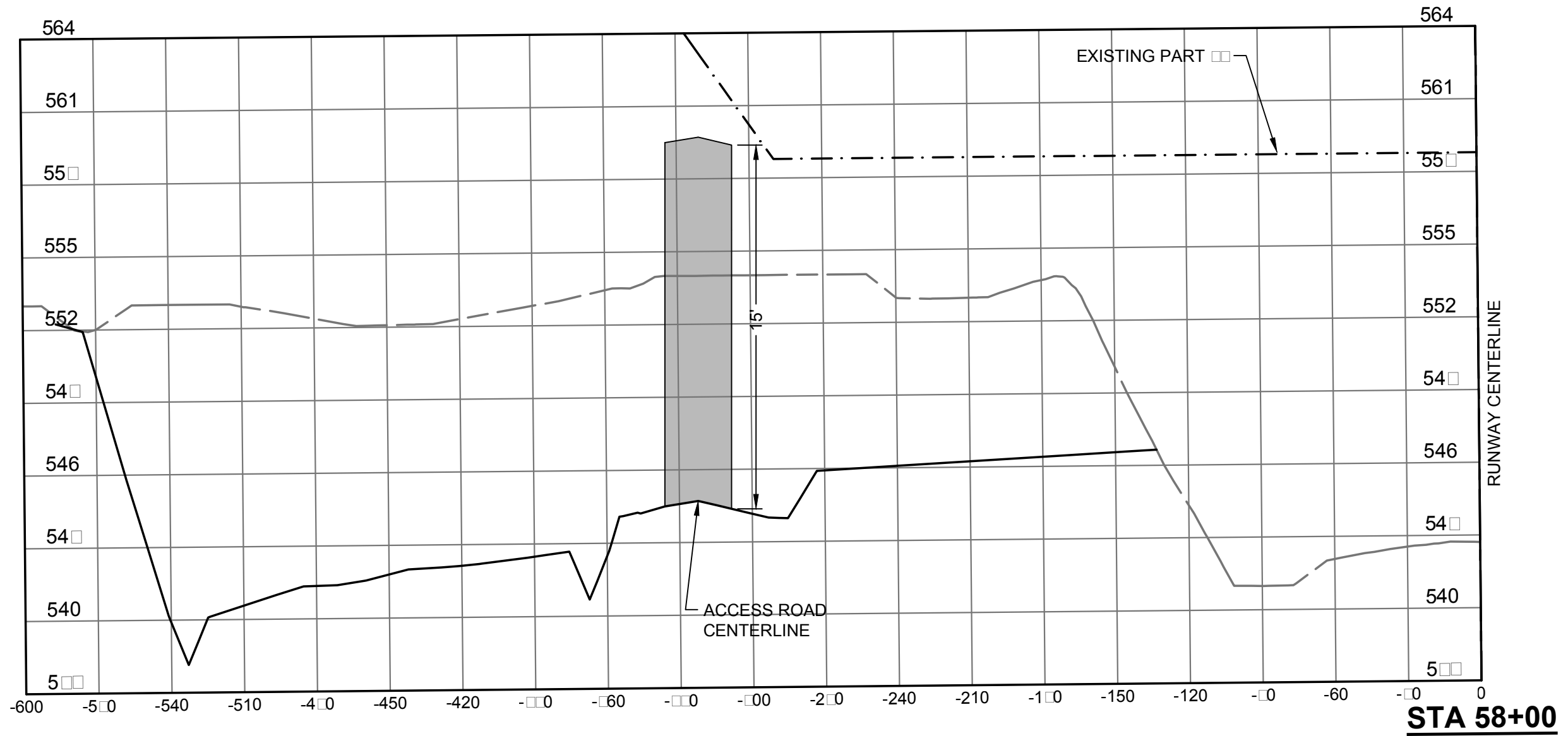
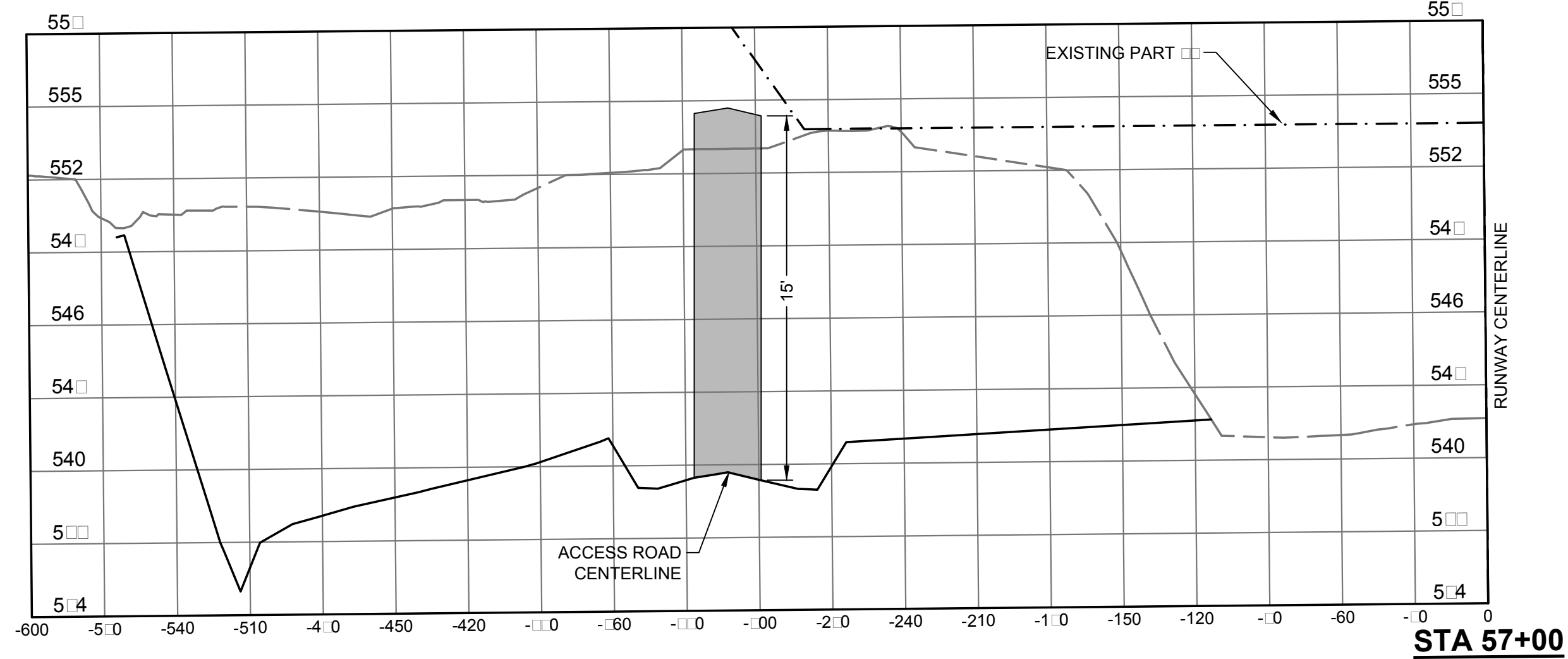
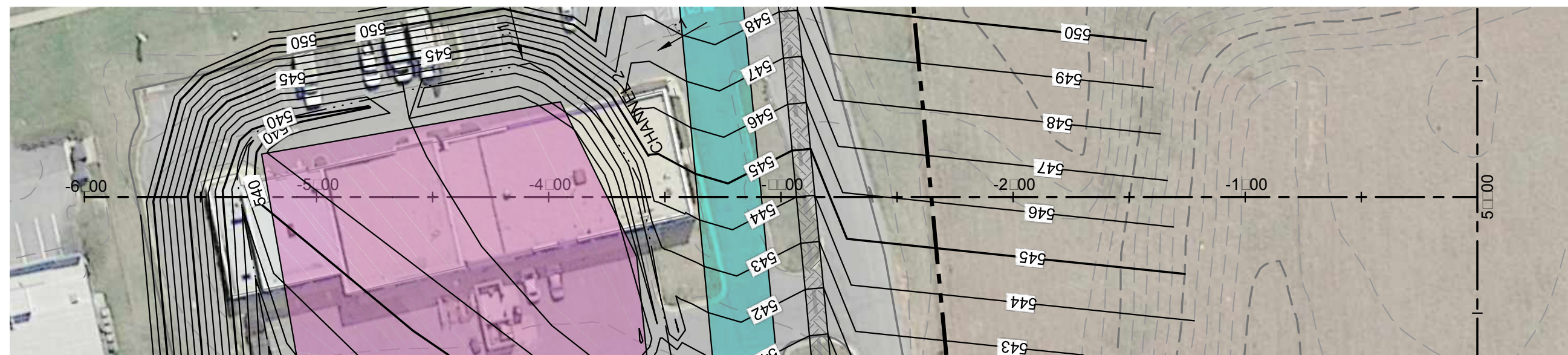
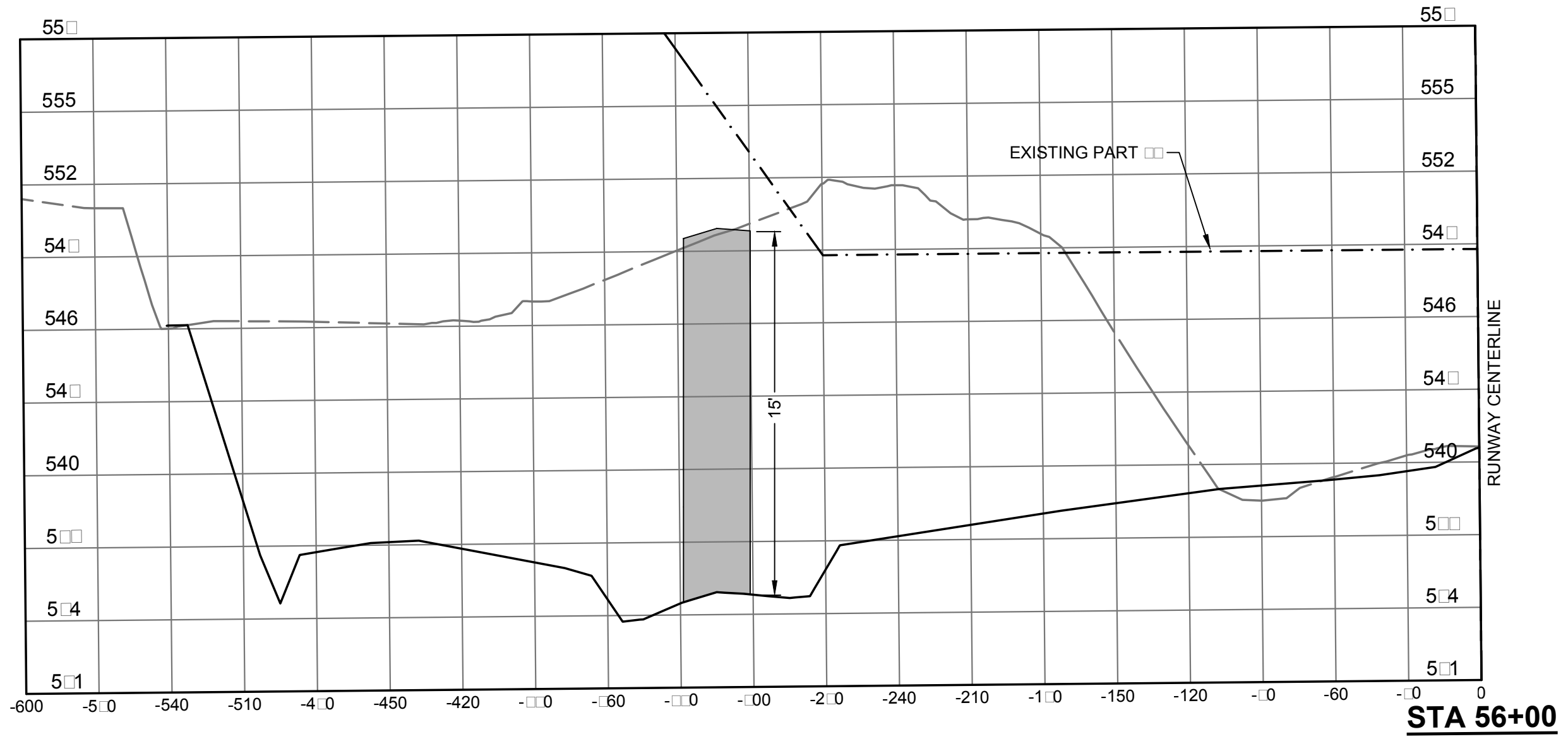
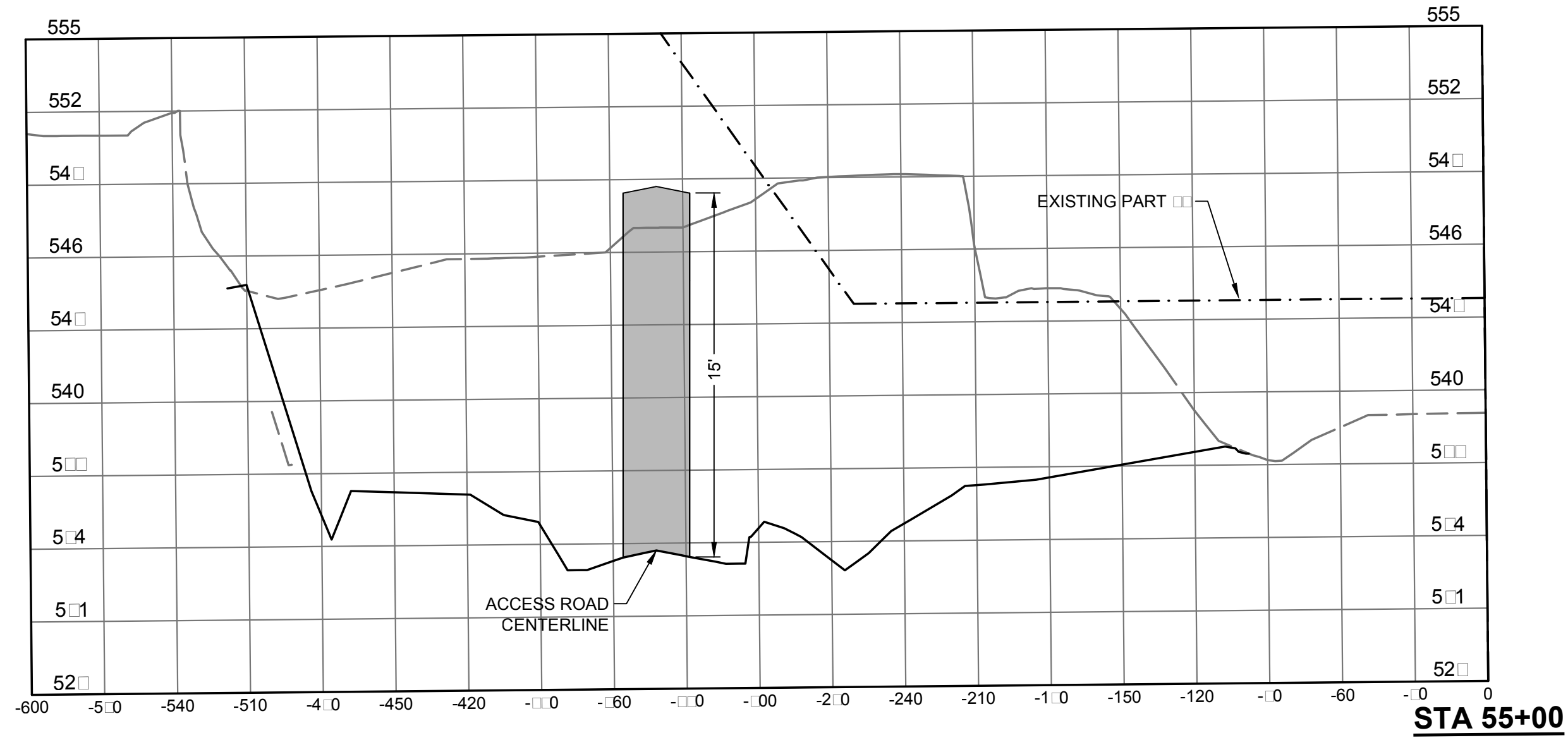
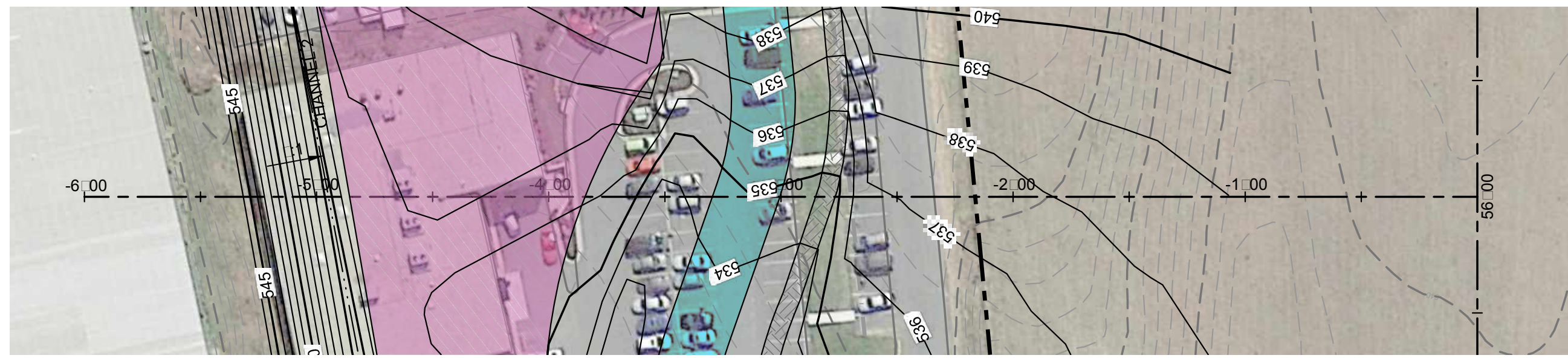
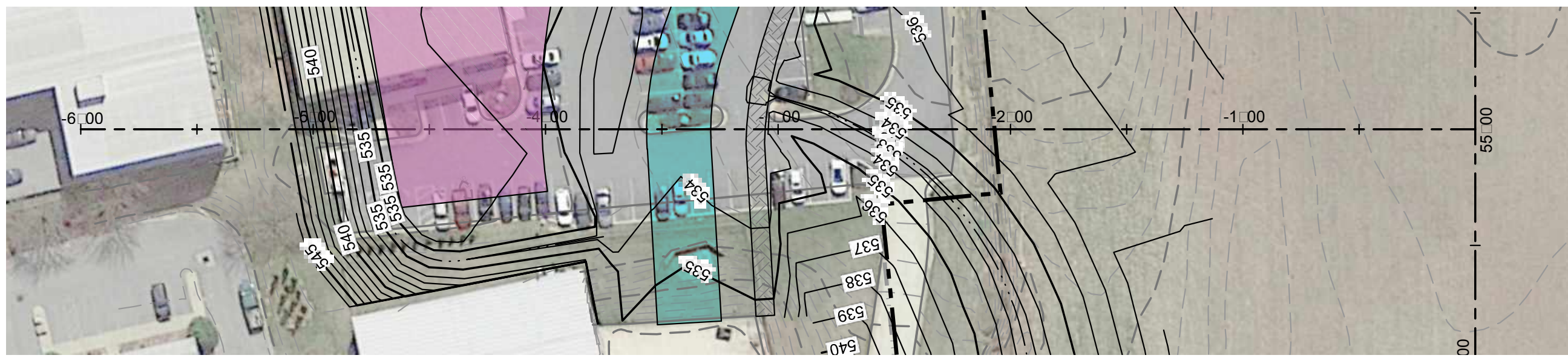
After an evaluation of the different SWM/ESD practices, it was evident that Non-Rooftop Disconnect and Grassed Swale are the most appropriate practices that could be utilized at this site. Non-rooftop disconnect was applied to all areas of pavement that met slope and length requirements. P_E was determined for each drainage area of impervious (maximum 1,000 SF) based upon the ratio of disconnection length to contributing length. These P_E values differ from the project site P_E and may reach a maximum value of 1". The Grassed Swale was utilized along the access road. All non-rooftop disconnections that are being claimed for credit are shown on Sheet 4 of the Concept Plan.

Summary

A summary sheet has been included in Appendix 2. The summary lists the ESD volume that is provided under the proposed design and compares it with the target volume.



Appendix 1 – Cross Section Exhibit



- LEGEND**
- EXISTING AIRPORT PROPERTY LINE
 - · - · - EXISTING PART APPROACH SURFACE
 - EXISTING SURFACE
 - PROPOSED SURFACE
 - ▨ GRASSED SWALE GS-1
 - PROPOSED IMPERVIOUS COVER
 - FUTURE IMPERVIOUS

PRELIMINARY - DO NOT USE
FOR CONSTRUCTION

**CROSS SECTIONS
STA 55+00 TO STA 58+00
MONTGOMERY COUNTY AIRPARK
GAITHERSBURG, MARYLAND**



EXHIBIT
1

DRAWN BY: MRM	SCALE: AS SHOWN
CHECKED BY: TJP/CMS	DATE: FEBRUARY 2017

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DRAWING: 14115 Cross Sections.dwg LAYOUT: LT1
DATE: 1/12/2017 11:12:30 AM
USER: GAI_Aerial (1/12/2017 11:12:30 AM)

Appendix 2 – Environmental Site Design (ESD) Summary

ESD Target Volume Calculation

Project Area Summary		
	Area Total	Unit
Site	5.75	AC
Site Impervious	2.32	AC
HSG B	0.00	AC
HSG C	5.75	AC
HSG D	0.00	AC
50% Existing Impervious	1.16	AC
Project Impervious	1.54	AC
Net Impervious	0.78	AC
50% Impervious – Net Impervious	0.38	AC

Determine %I by evaluating the project site and its existing impervious cover. Project Site meets 40% existing impervious Redevelopment criteria.

$$\%I = \frac{\text{Property Impervious}}{\text{Property}} \times 100 = \frac{2.32 \text{ AC}}{5.75 \text{ AC}} \times 100 = 40\%$$

$P_E = 1.0$ for Redevelopment

Calculate R_V based upon impervious cover.

$$R_V = 0.05 + 0.009(I) \quad R_V = 0.05 + 0.009(100) = 0.95$$

Calculate Target ESD Volume

$$ESD_V = \frac{P_E \times R_V \times Area}{12} \quad ESD_V = \frac{1.0 \times 0.95 \times (0.38 \text{ AC} \times 43,560 \text{ SF/AC})}{12} = 1,324 \text{ CF}$$

ESD Measures Provided		
Measure	Qty	ESD _v Prov'd
N-2 Disconnection	14	1,075
Grassed Swale	1	593
Totals		1,668 CF

Appendix 3 – Stormwater Concept Plan



MONTGOMERY COUNTY AIRPARK

GAITHERSBURG, MARYLAND

SUPPLEMENTAL ENVIRONMENTAL ASSESSMENT FOR LAND ACQUISITION & OBSTRUCTION REMOVAL

CONCEPT PLAN
PRELIMINARY - DO NOT USE
FOR CONSTRUCTION
FEBRUARY 2017

AIP PROJECT NO. 3-24-0018-026-2015

MAA PROJECT NO. MAA-GR-16-013

DELTA PROJECT NO. 14115

FOR THE
MONTGOMERY COUNTY
REVENUE AUTHORITY

FEBRUARY 2017

NOTES
THIS REVIEW PLAN SET BEING PRESENTED FOR PROGRESS REPORTING AND CONCEPTUAL DESIGN REVIEW BY FAA, MAA AND LOCAL AGENCIES. THE GOAL OF THIS PROJECT IS TO CLEAR ALL TREE OBSTRUCTIONS (HARD TO AIR NAVIGATION) WITHIN THE PARTIAL AIRSPACE SURFACES WITHIN THE PROJECT AREA. TIMEFRAME FOR CONSTRUCTION IS TBD. WORK ANTICIPATED IN 2015.

OWNER CONTACT:
MR. LEITZ MILLER
CHIEF EXECUTIVE OFFICER
MONTGOMERY COUNTY REVENUE AUTHORITY
101 MONROE STREET SUITE 410
ROCKVILLE, MD 20850-2501
TEL: 301.621.0100

OWNER'S/DEVELOPER'S CERTIFICATION

I/We hereby certify that all clearing, grading, construction, and/or development will be done pursuant to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning the project.

Signature _____ Date _____
Printed Name and Title _____

DESIGN CERTIFICATION

I hereby certify that this plan has been prepared in accordance with the "2011 Maryland Standards and Specification for Soil Erosion and Sediment Control," Montgomery County Department of Permitting Services Executive Regulations 5-90, 7-02AM and 36-90, and Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria" dated August 1988.

Design Engineer Signature _____ Date _____
Printed Name _____ Registration Number _____

CERTIFICATION OF THE QUANTITIES

I hereby certify that the estimated total amount of excavation and fill as shown on these plans has been computed to _____ cubic yards of excavation, _____ cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be _____ square feet.

Signature _____ Date _____
Printed Name and Title _____ Registration Number _____

MAINTENANCE CERTIFICATION ON PRIVATE LANDS

I/We hereby certify that I/we assume maintenance responsibilities for all stormwater management structures shown hereon. If maintenance responsibility is legally transferred, I/we agree to supply the Montgomery County Department of Environmental Protection with a copy of the document (signed by both parties) transferring said maintenance responsibility at that time.

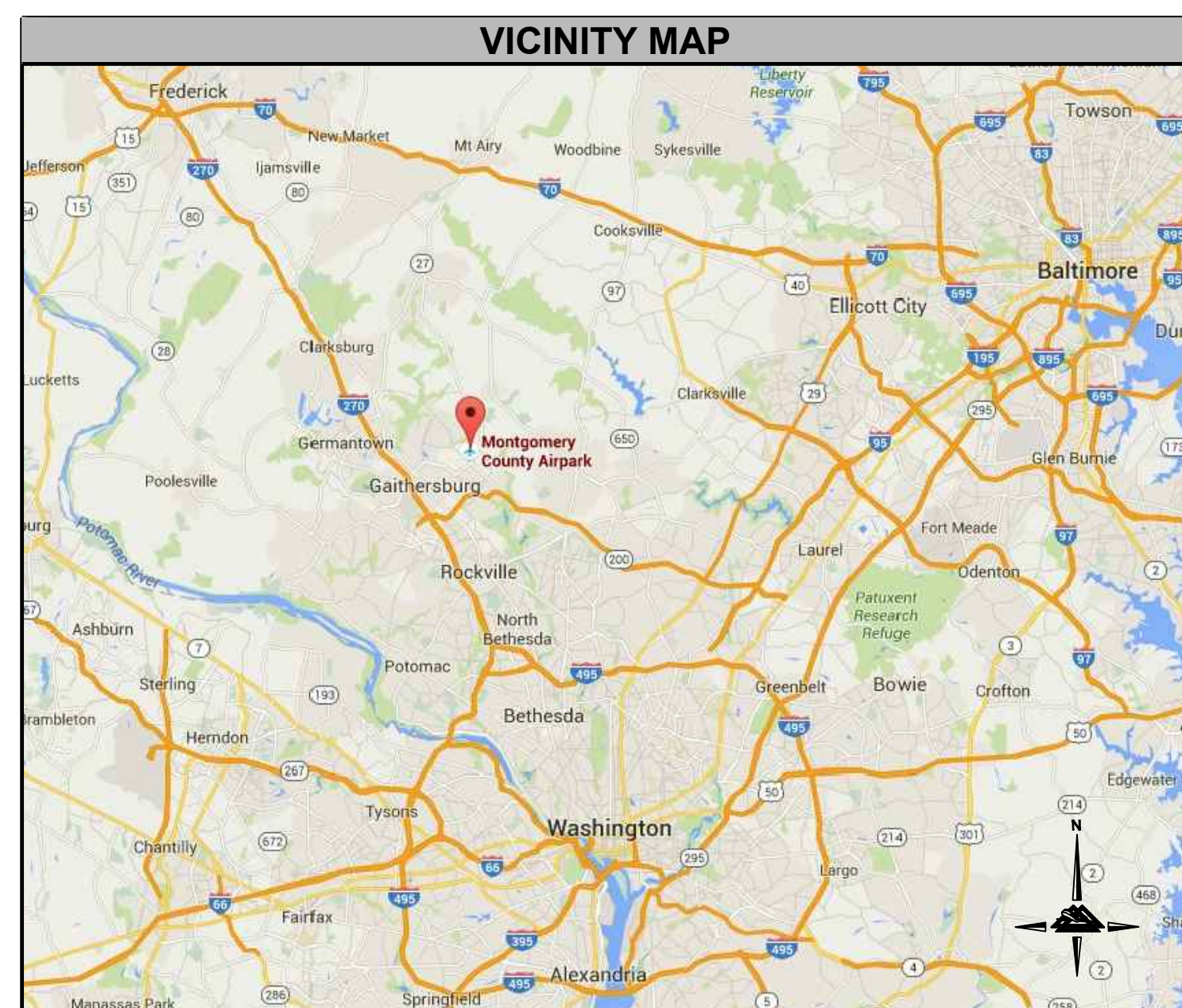
Owner/Developer Signature _____ Date _____
Printed Name and Title _____

RELATED REQUIRED PERMITS
To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects.

IT IS THE RESPONSIBILITY OF PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT

TYPE OF PERMIT	REQD	NOT REQD	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District		X			
WATERWAYS/WETLAND(S):					
a. Corps of Engineers		X			
b. MDE		X			
c. MDE Water Quality Certification		X			
MDE Dam Safety		X			
N.P.D.E.S. NOTICE OF INTENT	X		N/A	N/A	DATE FILED
OTHERS (Please List):					
MCDPS Engineered Plan Sediment Control Permit	X				

PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREA MUST BE TOPSOILED PER MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL."



SCALE: 1" = 10 MILES (APPROXIMATELY)

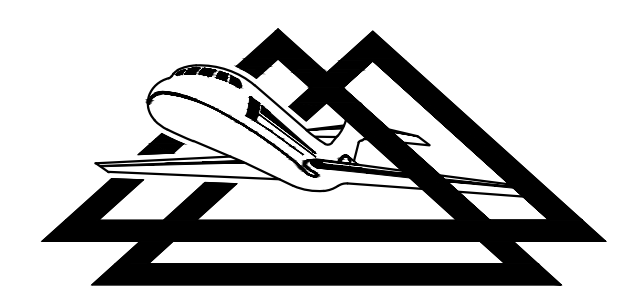
INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	PROJECT LAYOUT
3	PRE-DEVELOPMENT DRAINAGE AREA MAP
4	POST-DEVELOPMENT DRAINAGE AREA MAP
5	STORMWATER MANAGEMENT NOTES - DETAIL

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GAI_Visual_Map_Site_PFS_GAI_v3_TIE_MCDPS RELATED PERMITS TABLE.dwg

NO.	REVISIONS	BY	APP.	DATE

9711 Farrar Court, Suite 100
Richmond, Virginia 23236
phone: (804) 275-8301 • fax: (804) 275-8371
www.deltaairport.com

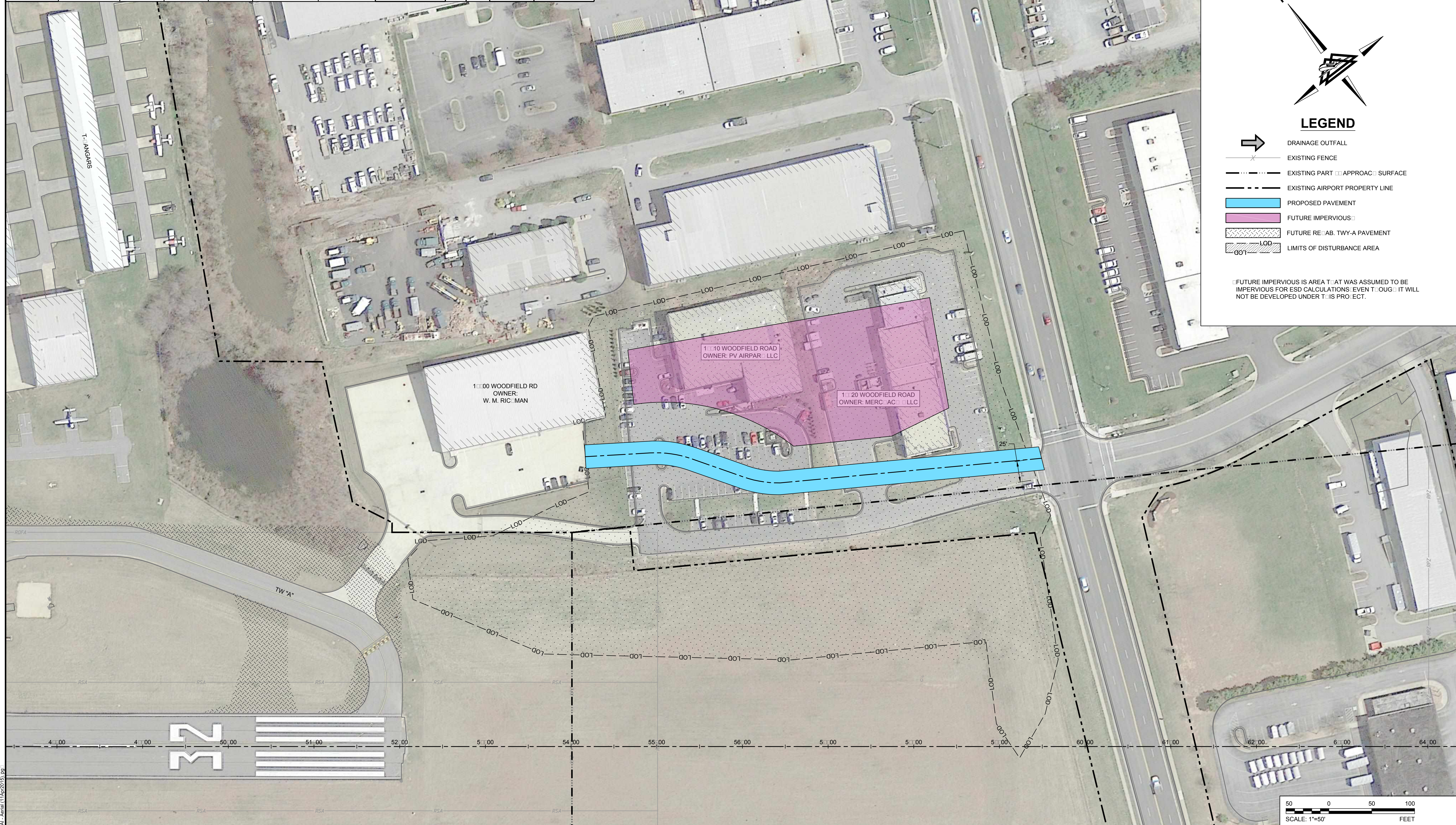


DELTA AIRPORT CONSULTANTS, INC.

CONCEPT PLAN
PRELIMINARY - DO NOT USE
FOR CONSTRUCTION

OBSTRUCTION REMOVAL	AIP NO.	JOB NO.
COVER SHEET	3-24-0018-026-2015	14115
	DRAWN BY: MRM	SHEET 1 OF 5
MONTGOMERY COUNTY AIRPARK	DESIGNED BY: TJP/CMS	
	SCALE: AS SHOWN	DATE: FEBRUARY 2017

ENVIRONMENTAL SITE DESIGN TARGET VOLUME DATA											
PROJECT SITE AREA (AC)	EXISTING SITE IMPERVIOUS (AC)	C SOILS (AC)	1% I (AC)	50% I (AC)	PROPOSED SITE IMPERVIOUS (AC)	NET IMPERVIOUS (AC)	50% EXISTING NET IMPERVIOUS (AC)	P _E	R _V	AREA	TARGET ESD _V (CF)
5.00	2.22	5.00	40	1.16	1.00	-0.00	0.16	1.00	0.15	0.16	555



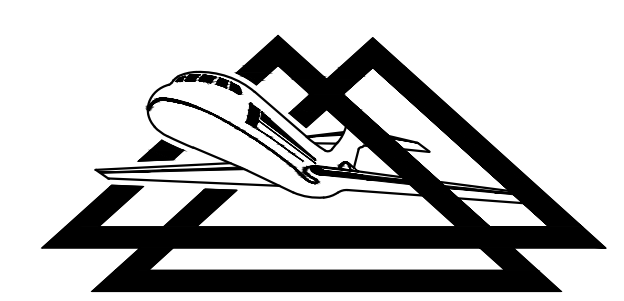
LEGEND

- DRAINAGE OUTFALL
- EXISTING FENCE
- EXISTING PART OF APPROACH SURFACE
- EXISTING AIRPORT PROPERTY LINE
- PROPOSED PAVEMENT
- FUTURE IMPERVIOUS
- FUTURE REHABILITATION TYPICAL PAVEMENT
- LIMITS OF DISTURBANCE AREA

NOTE: FUTURE IMPERVIOUS IS AREA THAT WAS ASSUMED TO BE IMPERVIOUS FOR ESD CALCULATIONS. EVEN THOUGH IT WILL NOT BE DEVELOPED UNDER THIS PROJECT.

NO.	REVISIONS	BY	APP.	DATE

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 Richmond, Virginia 23236
 phone: (804) 275-8301 • fax: (804) 275-8371
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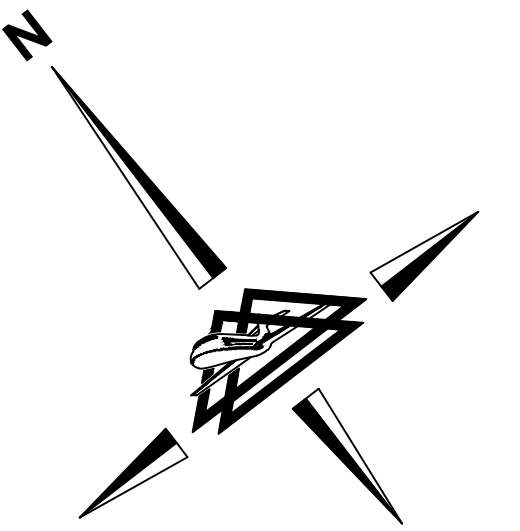
CONCEPT PLAN
 PRELIMINARY - DO NOT USE
 FOR CONSTRUCTION

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PROJECT LAYOUT	DRAWN BY: MRM	SHEET 2
	DESIGNED BY: TJP/CMS	OF 5
MONTGOMERY COUNTY AIRPARK	SCALE: 1"=50'	DATE: FEBRUARY 2017

DRAWING: 14115 GEN-C-000 LAYOUT.LIT
 DESIGNED: TJP/CMS
 CHECKED: MRM
 DATE: 11/14/2016

ENVIRONMENTAL SITE DESIGN DATA

DRAINAGE AREA	TOTAL AREA (AC)	TOTAL AREA (SF)	HYDROLOGIC SOIL GROUP (SF)	LAND COVER (SF)	
			C	IMPERVIOUS	GRASS
1	5.00	251501	2,421	24556	226,45
2	1.61	0,00	0,004	520,0	1,25,0
3	0,04	1,2620	146,25	25,0	50051



LEGEND

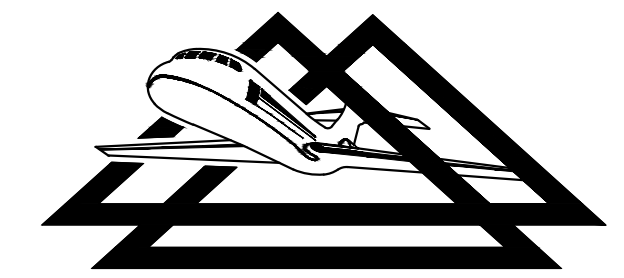
- 2 DRAINAGE AREA
- POINT OF OUTFALL ANALYSIS
- DRAINAGE AREA BOUNDARY
- EXISTING AIRPORT PROPERTY LINE
- EXISTING STORMSEWER



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NO.	REVISIONS	BY	APP.	DATE

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**DELTA AIRPORT
 CONSULTANTS, INC.**

CONCEPT PLAN
 PRELIMINARY - DO NOT USE
 FOR CONSTRUCTION

OBSTRUCTION REMOVAL	AIP NO. 3-24-0018-026-2015	JOB NO. 14115
PRE-DEVELOPMENT DRAINAGE AREA MAP	DRAWN BY: MRM	SHEET 3
	DESIGNED BY: TJP/CMS	OF 5
MONTGOMERY COUNTY AIRPARK	SCALE: 1" = 50'	DATE: FEBRUARY 2017



GRASSED SWALE (GS)

The Grassed Swale methods described in the following section are based on the Grassed Swale design found in Chapter 5 of the Maryland Storm Water Design Manual and the ESD Process & Computations Supplement dated July 2010. Where deemed appropriate, the design specifications have been modified by the Montgomery County Department of Permitting Services (DPS).

A. Facility Description

A Grassed Swale is a channel that provides conveyance, water quality treatment and flow attenuation of stormwater runoff. Pollutant removal is achieved through vegetative filtering, sedimentation, biological uptake, and infiltration.

B. System Design Considerations

1. Applicability

Grassed Swales are intended to be used in lieu of curb and gutter conveyance for roadways and driveways only. They are appropriate for new and redevelopment applications. They may be used in public and private rights-of-way, and for other areas such as driveways where swales can be incorporated into the project design in place of curb and gutter. Grassed Swales are not appropriate as treatment for roof downspouts, parking lots, or other non linear applications. Grassed Swales must be as long as the treated surface.

The channel slope shall be between 1% and 4.0%. Maximum ESD flow velocity may not exceed 1.0 fps. Channel side slopes may not exceed 3:1. In cases where the flow velocity exceeds 1 fps, overflow inlets shall be employed to keep the average flow in the swale below 1 fps.

2. Conveyance

Grassed Swales shall be designed to receive flow along their entire length via sheet flow. They may not be designed as treatment for piped flow or for other areas of concentrated flow. Overflow inlets should be installed as necessary to maintain conveyance and keep ESD velocity to 1 fps or less. All swales shall be sized to safely convey runoff from a 10-year storm event in a non erosive fashion to an acceptable outfall.

3. Groundwater

Grassed Swales shall not be located where the water table is within 2 feet of the bottom of the facility. If the 2 ft. clearance requirement cannot be met, an alternative stormwater practice must be proposed.

4. Setbacks

Grassed Swales shall be located at least 30 feet from water supply wells and 25 feet from septic systems. Practices should be located down gradient and setback at least 10 feet from building foundations.

C. Specifications and Details

1. Sizing

When sized per the criteria below, the Grassed Swale may be credited as providing treatment volume for a Pe of 1.0 inch for the impervious area draining to it. Surface ponding may not be calculated for Grassed Swales since they do not pond water, they convey it away.

The surface of the Grassed Swale shall be 2 to 8 feet in width. Maximum velocity for the runoff from a one inch rainfall may not exceed 1.0 fps. Flow rate shall be calculated per Appendix D.10 of the 2000 Maryland Stormwater Design Manual. Where channel width, slope, and ESD flow rate requirements are met within a Grassed Swale for a drainage area, a credit of Pe = 1.0 inch shall be given. The treatment area used for calculating the ESD credit is considered to be only the impervious vehicular area draining directly to the swale along its length. Other areas that may drain to the swale, such as yards, rooftops and parking lots, will not be given ESD credit within the Grassed Swale.

Grassed Swales may not be "enhanced" by placing additional stone storage below them.

2. Inflow Design Criteria

Runoff shall enter the Grassed Swale in a non-erosive manner (less than 2 fps) as sheet flow from the surface being treated.

3. Overflow Design Criteria

Safe conveyance of the developed 10-year storm through the Grassed Swale must be demonstrated. Overflow inlets may be installed as required. All piped overflows must outfall to safe, stable locations.

4. Planting Media

Formal planting medium is not employed in the construction of Grassed Swales. However, the soil must be prepared for planting per Montgomery County tilling/topsoiling specifications prior to planting.

5. Mulch

Mulch is not employed in Grassed Swales. Swales must be stabilized with sod or with seed and erosion control matting at the time of grading.

6. Plant Materials

Plants, through their pollutant uptake and evapo-transpiration of stormwater runoff, play a key role in the overall effectiveness of the Grassed Swale. The swale should be densely planted in appropriate grasses.

Grassed Swale Sizing Example

A Grassed Swale is being designed to treat the runoff from a street that is part of a larger development. The target ESD_v for the overall project has already been determined. The total treatment area (roadway surface) to the swale is 10,000 square feet of roadway area. The longitudinal flow slopes at an average of 3.5%, and the bottom width has been adjusted to provide <= 1 fps for the ESD flow velocity (in this case a 2 foot bottom width). Treated roadway area is 1,000 feet long by ten feet wide. The swale runs the entire length of the treated area.

A = 10,000 sq. ft. of impervious area being treated directly in the swale
Pe = 1.0
Rv = .05 + 0.009(I) = .05 + 0.009(100) = 0.95

ESD_v provided = (1.0) (.95) (10,000) / 12 = 792 cf

For calculation of maximum velocity and 10-year conveyance, the entire developed drainage area to the swale must be considered



DISCONNECTION OF NON-ROOFTOP RUNOFF

The Disconnection of Non-Rooftop Runoff methods described in the following section are based on the guidelines found in Chapter 5 of the Maryland Storm Water Design Manual and the ESD Process & Computations Supplement dated July 2010. Where deemed appropriate, the design specifications have been modified by the Montgomery County Department of Permitting Services (DPS).

A. Facility Description

Disconnection of Non-Rooftop Runoff is a nonstructural method of dispersing flows from impervious surfaces across vegetated areas to reduce runoff volume and pollutants.

B. System Design Considerations

1. Applicability

Disconnection of Non-Rooftop Runoff is appropriate for new and redevelopment applications. This is most frequently applied to small impervious areas such as driveways and small parking areas, patios, pool decks, etc.

2. Conveyance

Disconnected runoff must discharge directly to relatively flat vegetated areas to receive treatment credit. The average slope of the disconnection path may not exceed 5%. Disconnections must encourage sheet flow.

Swales may not be used to modify disconnection flow paths, as they discourage sheet flow.

The entire disconnection flow path must be located on the subject property. Disconnection credit will not be given for flow beyond the property line.

Flow path length shall be at least 10 feet. Credit will not be given for flow path lengths above 75 feet.

Disconnected flow must remain disconnected throughout its entire credited flow length. Credit will not be given beyond the point where flow converges with flow from another source.

Disconnection areas must be clearly shown and labeled on construction plans.

A 1 to 2 foot wide pea gravel transition strip between the treated impervious area and the pervious treatment area should be provided to ensure runoff will flow in a safe and non erosive manner.

3. Soil Suitability

Disconnection of Non-Rooftop Runoff works best on uncompacted soils that support healthy vegetation and that allow runoff to infiltrate. In areas where the soils are compacted by construction equipment or are unsuitable for other reasons, soil amendments or deconsolidation may be required.

4. Reconnections

Disconnection of Non-Rooftop Runoffs may not flow across impervious areas or connect with flow from other sources for their entire treatment length. The credited flow length must remain separate from other areas of concentrated flow for its entire credited flow length.

5. Vegetation

Disconnection of Non-Rooftop Runoff is most commonly proposed for lawn areas with turf grass. However, other types of vegetation such as trees, shrubs or other herbaceous plants are acceptable provided the flow area is a well vegetated area with healthy plants.

C. Specifications and Details

The following table will be used to compute Disconnection of Non-Rooftop Runoff credits in Montgomery County.

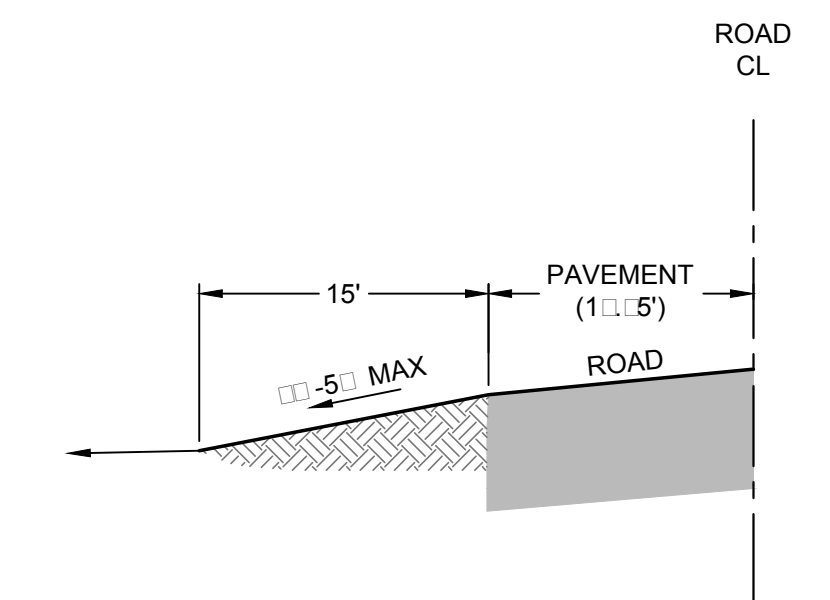
Impervious Ratio	Ratio of Disconnection Length to Contributing Length				
	0.2:1	0.4:1	0.6:1	0.8:1	1:1
Pe (ft.) =	0.2	0.4	0.6	0.8	1.0

When the target Pe = 1.0 because the impervious area <= 15%, if the provided treatment per the table is 1.0 then no additional calculation is necessary.

Disconnection of Non-Rooftop Runoff Sizing Example

Disconnection of Non-Rooftop Runoff is being proposed to provide treatment for the runoff from a driveway. The target ESD_v for the overall project has already been determined. The driveway to be treated is 20 feet in width and 45 feet long. The receiving lawn area is at an average slope of less than 4%, and the flow length to the property line is 60 feet.

A = 900 sq. ft. (For purposes of calculating ESD credit for Non-Rooftop Disconnection, A = the impervious area being treated.)
Contributing Impervious Length = 20 feet
Receiving Pervious Length = 10 feet
Impervious Ratio = 0.5:1
Pe = 0.5 (from chart)
Rv = .05 + 0.009(I) = .05 + 0.009(100) = 0.95
ESD_v provided = (0.5) (.95) (900) / 12 = 36 cf



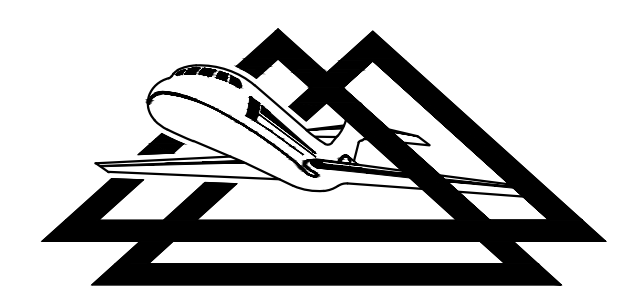
ROAD - NON-ROOFTOP DISCONNECT TYPICAL SECTION
NTS

NOTE:
1. ACTUAL FLOW PATH LENGTHS AND WIDTHS OF CONTRIBUTING IMPERVIOUS AREAS INCLUDED ON POST-DEVELOPMENT DRAINAGE AREA MAP SHEETS.

DRAWING: 14115.DTL.dwg LAYOUT: CPT
DATE: 11/30/12 APPROVED BY: [signature] IMAGES:

NO.	REVISIONS	BY	APP.	DATE

9711 Farrar Court, Suite 100
Richmond, Virginia 23236
phone: (804) 275-8301 • fax: (804) 275-8371
www.deltaairport.com

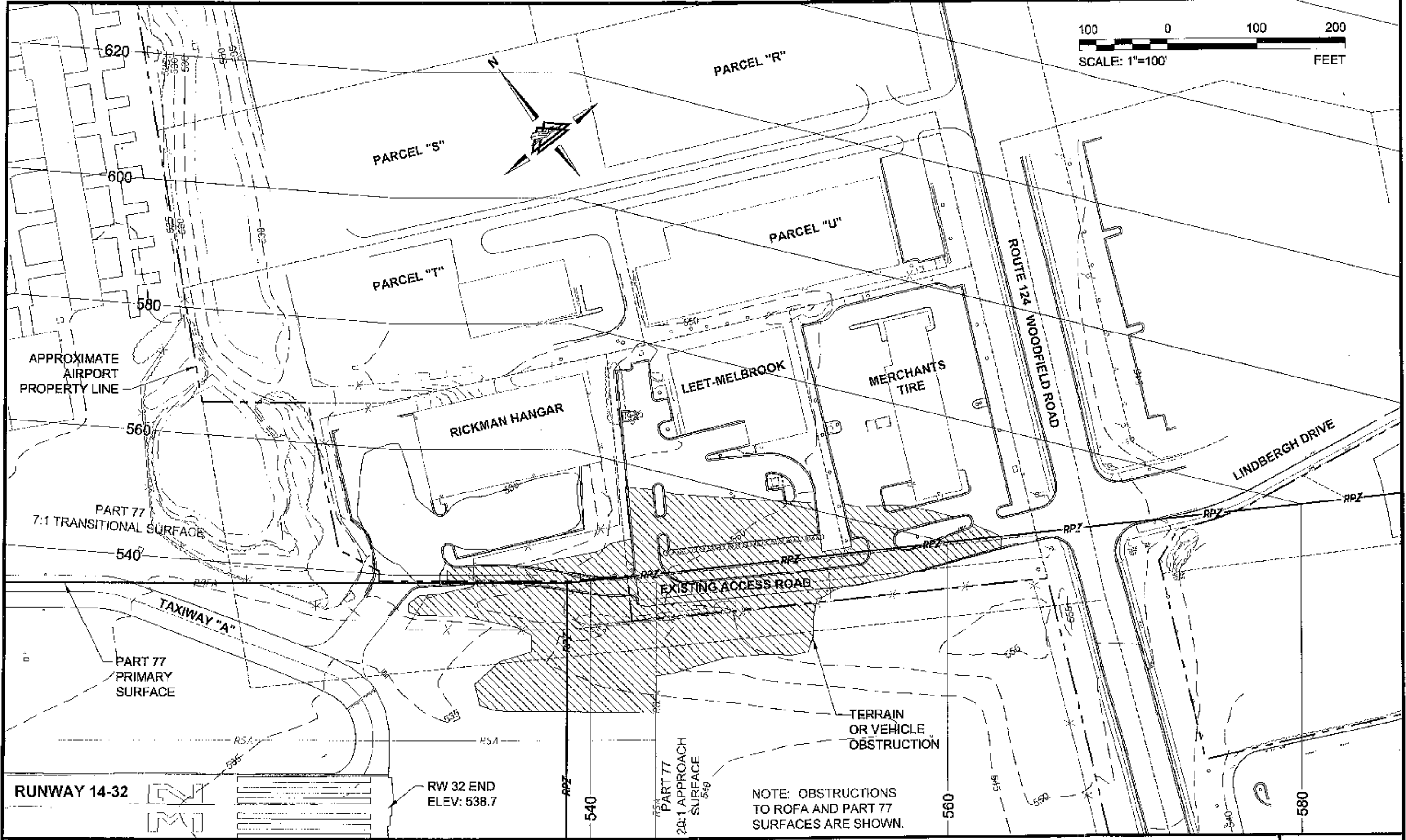
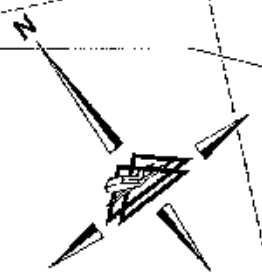
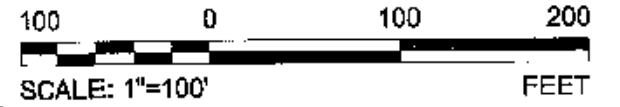


DELTA AIRPORT CONSULTANTS, INC.

CONCEPT PLAN
PRELIMINARY - DO NOT USE
FOR CONSTRUCTION

OBSTRUCTION REMOVAL	AIP NO. 3-24-0018-026-2015	JOB NO. 14115
STORMWATER MANAGEMENT NOTES & DETAIL	DRAWN BY: MRM	SHEET 5
	DESIGNED BY: TJP/CMS	OF 5
MONTGOMERY COUNTY AIRPARK	SCALE: NTS	DATE: FEBRUARY 2017

Appendix 4 – 2011 Preliminary Engineering Design Report Exhibits



APPROXIMATE AIRPORT PROPERTY LINE

PARCEL "S"

PARCEL "R"

PARCEL "T"

PARCEL "U"

RICKMAN HANGAR

LEET-MELBROOK

MERCHANTS TIRE

ROUTE 124 WOODFIELD ROAD

LINDBERGH DRIVE

PART 77 7:1 TRANSITIONAL SURFACE

540

TAXIWAY "A"

PART 77 PRIMARY SURFACE

EXISTING ACCESS ROAD

TERRAIN OR VEHICLE OBSTRUCTION

RUNWAY 14-32

RW 32 END ELEV: 538.7

540

PART 77 20:1 APPROACH SURFACE 546

NOTE: OBSTRUCTIONS TO ROFA AND PART 77 SURFACES ARE SHOWN.

560

580

**EXISTING ACCESS ROAD OBSTRUCTIONS
MONTGOMERY COUNTY AIRPARK**

EXHIBIT
I



DRAWN BY: F.J.W. CHECKED BY: T.S.S. SCALE: 1"=100' DATE: FEBRUARY 2010

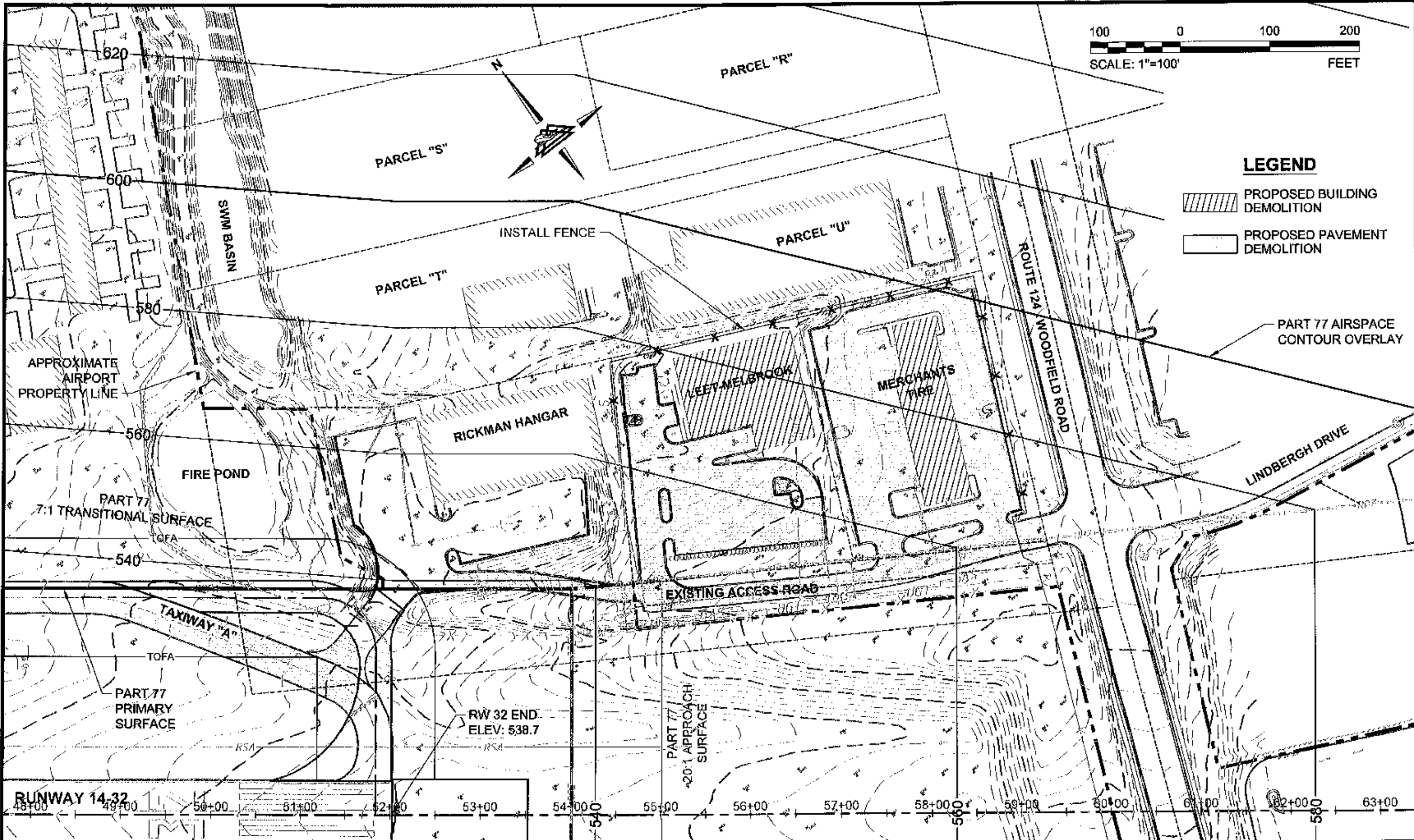
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DRAWING: 09012 Access Road Options.dwg LAYOUT: EX

www.delicairport.com

N:\09012\04 CAD\Exhibits\09012 Proposed Action Phase 1.dwg, LI, 3/18/2011 11:02:05 AM, pjw

DRAWING: 05012 Proposed Action Phase 1.dwg LAYOUT: LI



PROPOSED ACTION - PHASE I - ACQUIRE LEET-MELBROOK & MERCHANTS PARCELS
MONTGOMERY COUNTY AIRPARK

SHEET
1

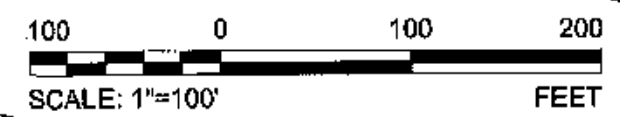
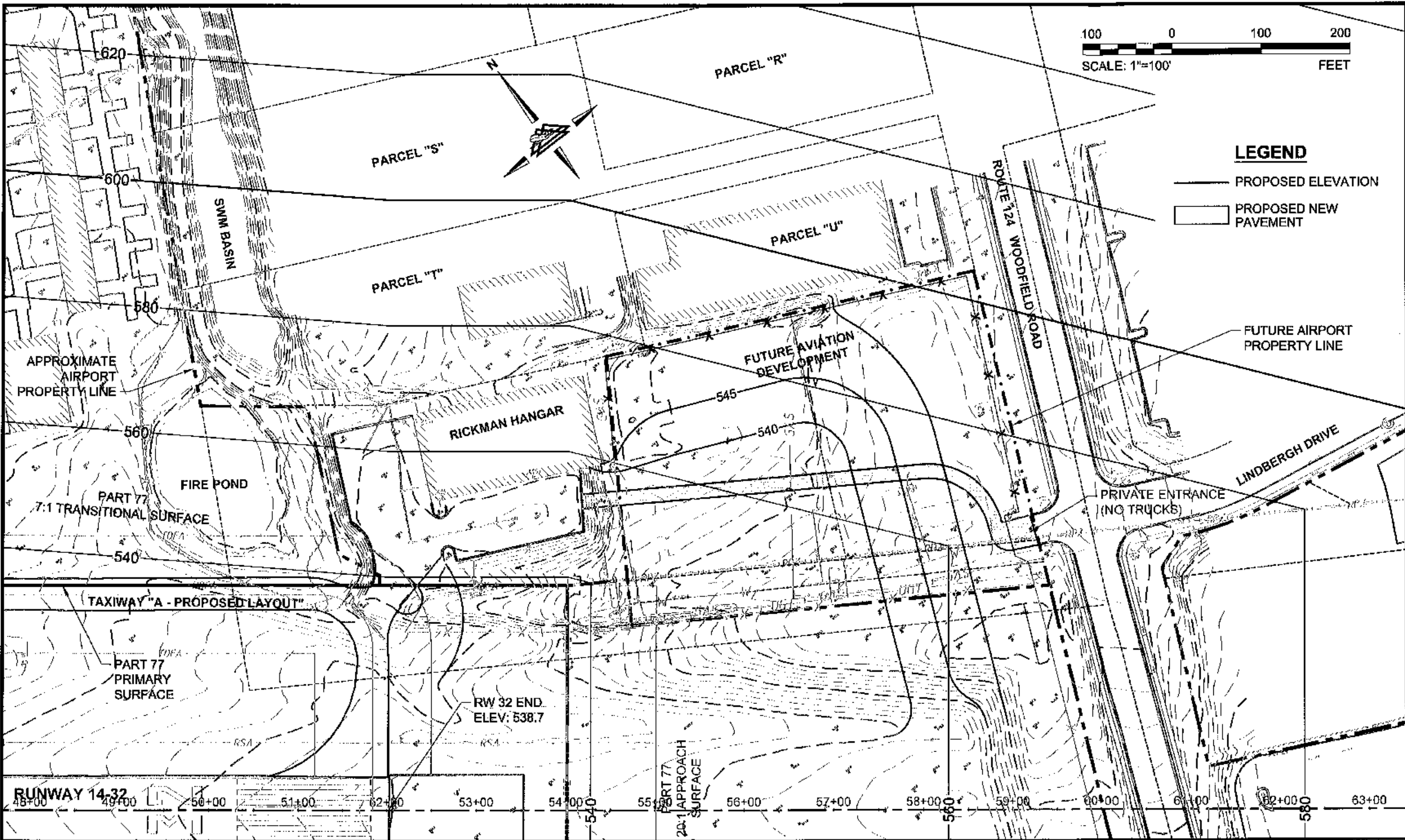


www.deltairport.com

DRAWN BY: PJW CHECKED BY: MFK SCALE: 1"=100' DATE: NOVEMBER 2010

N:\09012\04 CAD\Exhibits\09012 Proposed Action Phase 2.dwg, L1, 3/18/2011 11:04:33 AM, pjw

DRAWING: 09012 Proposed Action Phase 2.dwg LAYOUT: 1



LEGEND

- PROPOSED ELEVATION
- ▭ PROPOSED NEW PAVEMENT

**PROPOSED ACTION - PHASE II - GRADE AND RELOCATE ROAD
MONTGOMERY COUNTY AIRPARK**

SHEET
3



DRAWN BY: PJW CHECKED BY: MJK SCALE: 1"=100' DATE: NOVEMBER 2010

Appendix 5- FAA Review Comments on 2011 Preliminary Engineering Design Report

MONTGOMERY COUNTY AIRPARK
RUNWAY 32 OBSTRUCTION REMOVAL
PRELIMINARY DESIGN STUDY – FINAL REPORT

AIP 3-24-0018-019

FAA REVIEW COMMENTS (1-12-11)
RESPONSES FROM DELTA AIRPORT CONSULTANTS, INC.

Comments are numbered as per FAA letter, responses in bold.

1. Page 2 – the obstruction removal program is based upon those identified the approved Airport Layout Plan (ALP).

Revised as noted.

2. Page 2 – The goal of this study was not to evaluate conditions of the Runway 32 end but to better quantify how the obstruction removal program identified on the ALP was going to be implemented. The decisions regarding compliance with FAA standards are made when the ALP is submitted and approved.

Revised as noted.

3. Page 2 – This study did not determine that lowering the access road is not feasible but I fact documented that it can be lowered in accordance with the approved ALP and that additional properties are effected.

Wording revised as noted by the FAA.

4. Page 2 – As the consultant is aware, resolution of obstructions is not resolved through the use of the Modification of Standards (MOS) process and is not new to the consultant.

Reference to MOS request has been deleted.

5. Page 2 – Unless the sponsor proposes to meet the 3 degree design standards for the Obstacle Clearance Surface (OCS) for the PAPI, its installation is not approved.

The PAPI obstacle clearance surfaces for Runway 32 appear to be free of obstructions. A survey has not yet been completed to verify. The PAPI reference has been revised in the report.

6. Page 5 – The sponsor, not the FAA selects an Airport Reference Code (ARC). The ARC is identified by the Sponsor on their ALP. The report gives the impression that this was somehow imposed upon the sponsor.

Text revised to remove the impression noted.

7. Page 8 – The design effort is supposed to produce a specific alternative which is consistent with the approved ALP. It would appear that the consultant's purpose was to attempt to revisit the approved ALP alternative during the design effort.

The study reviewed alternatives desired by the Owner to minimize off Airport Property impacts in accordance with the ALP. The alternatives presented will assist in documentation of alternatives if additional NEPA analysis is required for the property acquisition. The text has been revised to address comments.

8. Page 9 – Buildings at the airport do penetrate the Part 77 transitional surfaces but not the primary surface.

The report reflects this comment.

9. Page 9 – No data has been supplied to the FAA to substantiate whether the proposed PAPI meets the OCS. As noted on Page 10, insufficient data currently exists to conclude whether it would meet those criteria. Until that data is available, the FAA cannot consider installation of a PAPI.

The report text has been revised to more clearly state requirements for a PAPI OCS survey and design to confirm standards are met.

10. Page 15 – The FAA did not issue a "waiver" to the Threshold Siting Surface (TSS) as identified as we do not have the ability to do so.

The reference to the waiver has been removed. The Runway 32 landing threshold was temporarily displaced for a period of time but was returned to full length after coordination with FAA officials.

11. Page 17 – The correct designation would be FAR Part 77.

Revised as noted.

12. The Sponsor's proposed plan which addresses FAA design standards is identified on the approved ALP. That plan identifies how the Sponsor proposes to address all of those standards.

Text revised to address comment.

13. Page 23 – The access road is considered a public road as the public is permitted to use it unrestricted.

Text revised as noted.

14. Page 23 – The consultant unsuccessfully attempted to categorize a public road with no height restrictions as a private road without providing any credible means to meet the

requirements under Part 77. The road designation under Part 77 is determined by the height of vehicles expected to use the road. As the consultant identified that vehicles greater than 10 feet in height would use the road, there is no credible basis to consider it a private road.

Clarification has been provided and the road is considered public by standards. The text has been revised to clarify.

15. Page 26 – The Rickman through the fence agreement also requires Rickman to lower the access road.

This requirement is understood. Text revised to note comment.

16. Page 26 – See comment (4) regarding MOS for Part 77 penetrations.

Reference to MOS removed.

17. Page 27 – See comment (4) regarding MOS for Part 77 penetrations.

Reference to MOS removed.

18. Page 28 – The FAA has already provided guidance to the consultant regarding the additional property acquisition option selected by the sponsor for resolving the lowering of the road.

The text has been revised as noted. Additional environmental assessment may be required for the additional fee simple land acquisition and business relocations required.

19. Page 30 – Advisory Circular 150-5300-13 identifies that clearing standards include FAR Part 77.

Text revised as noted.

20. Page 30 – See comment (4) regarding MOS for Part 77 penetrations.

Text revised as noted.

21. Page 32 – The FAA has already concurred with the sponsors plan, as identified on the approved ALP, to resolve obstruction standards. That plan identified meeting the 15 foot public road standard for the area under study.

Comment acknowledged. Text revised to refer to approved ALP.

Scanned



U. S. Department
Of Transportation

Federal Aviation
Administration

WASHINGTON AIRPORTS DISTRICT OFFICE
23723 Air Freight Lane, Suite 210
Dulles, Virginia 20166
Telephone: 703/661-1359 Fax: 703/661-1370

January 12, 2011

Mr. Keith Miller, Executive Director
Montgomery County Revenue Authority
101 Monroe Street, Suite 410
Rockville, Maryland 20850

Re: Montgomery County Airpark
AIP 3-24-0018-019
Remove Obstructions - Design Report

Dear Mr. Miller:

We have completed our review of the preliminary design study report dated November 2010 for the referenced project. Based on our review we have developed comments which must be addressed in the next submittal. If you have any questions please contact our office.

Sincerely,

Original Signed By
Thomas A. Priscilla

Thomas A. Priscilla, Jr.
Baltimore Metro Engineer

Enclosure

Cc: Mr. Solanki, MAA (W/enc.)
Mr. Kundrot, Delta (W/enc.) ✓

Montgomery County Airpark
Preliminary Design Report
AIP 3-24-0018-019

- (1) Page 2 – the obstruction removal program is based upon those identified the approved Airport Layout Plan (ALP).
- (2) Page 2 – The goal of this study was not to evaluate conditions of the Runway 32 end but to better quantify how the obstruction removal program identified on the ALP was going to be implemented. The decisions regarding compliance with FAA standards are made when the ALP is submitted and approved.
- (3) Page 2 – This study did not determine that lowering the access road is not feasible but in fact documented that it can be lowered in accordance with the approved ALP and that additional properties are effected.
- (4) Page 2 – As the consultant is aware, resolution of obstructions is not resolved through the use of the Modification of Standards (MOS) process and is not new to the consultant.
- (5) Page 2 – Unless the sponsor proposes to meet the 3 degree design standards for the Obstacle Clearance Surface (OCS) for the PAPI, its installation is not approved.
- (6) Page 5 – The sponsor, not the FAA selects an Airport Reference Code (ARC). The ARC is identified by the Sponsor on their ALP. The report gives the impression that this was somehow imposed upon the sponsor.
- (7) Page 8 – The design effort is supposed to produce a specific alternative which is consistent with the approved ALP. It would appear that the consultant's purpose was to attempt to revisit the approved ALP alternative during the design effort.
- (8) Page 9 – Buildings at the airport do penetrate the Part 77 transitional surfaces but not the primary surface.
- (9) Page 9 – No data has been supplied to the FAA to substantiate whether the proposed PAPI meets the OCS. As noted on Page 10, insufficient data currently exists to conclude whether it would meet those criteria. Until that data is available, the FAA cannot consider installation of a PAPI.
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- (12) Page 17 – The Sponsor's proposed plan which addresses FAA design standards is identified on the approved ALP. That plan identifies how the Sponsor proposes to address all of those standards.
- (13) Page 23 – The access road is considered a public road as the public is permitted to use it unrestricted.
- (14) Page 23 – The consultant unsuccessfully attempted to categorize a public road with no height restrictions as a private road without providing any credible means to meet the requirements under Part 77. The road designation under Part 77 is determined by the height of vehicles expected to use the road. As the consultant identified that vehicles greater than 10 foot in height would use the road, there is no credible basis to consider it a private road.

- (15) Page 26 – The Rickman through the fence agreement also requires Rickman to lower the access road.
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- (20) Page 30 - See comment (4) regarding MOS for Part 77 penetrations.
- (21) Page 32 – The FAA has already concurred with the sponsors plan, as identified on the approved ALP, to resolve obstruction standards. That plan identified meeting the 15 foot public road standard for the area under study.

APPENDIX F

Public and Agency Review





Larry Hagan, Governor
Boyd K. Rutherford, Lt. Governor
Mark J. Belton, Secretary
Frank W. Dawson, III, Deputy Secretary

June 26, 2015

Mary Ashburn Pearson
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

RE: Environmental Review for Runway 14-32 Obstruction Removal, west side trees, Montgomery County Airpark, Montgomery County, MD.

Dear Ms. Pearson:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. This statement should not be interpreted however as meaning that rare, threatened or endangered species are not in fact present. If appropriate habitat is available, certain species could be present without documentation because adequate surveys have not been conducted.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER# 2015.0835.mo

DELTA AIRPORT
CONSULTANTS

JUL 07 2015

RICHMOND, VA



January 4, 2016

Memorandum

To: Distribution List- via Email Only

From: Mary Ashburn Pearson, AICP
Delta Airport Consultants, Inc.

Reference: Montgomery County Airpark, Supplemental Environmental Assessment
Agency Coordination Letter- **Invitation to Comment**

In 2006, the Montgomery County Revenue Authority (MCRA), owner and operator of the Montgomery County Airpark, completed an Environmental Assessment (EA) for proposed airport improvements, including:

- Remove obstructions for Runway 14/32
- Lower adjacent access road and parking lot
- Acquire approximately 26 acres for Runway Protection Zone (RPZ) control
- Install holding position signage and marking and install Precision Approach Path Indicator (PAPI) lights

A Finding of No Significant Impact (FONSI) was issued by FAA in June 2006.

The 2006 EA identified the existing, off-airport access road and parking lot on the Runway 32 (southeastern) end, leading to Woodfield Road (State Route 124), as penetrations to the proposed 14 CFR Part 77 airspace surfaces, and recommended that the road and parking lot be lowered to mitigate the terrain penetrations.

In 2011, a Preliminary Engineering effort was conducted which concluded that lowering the access road and parking lot in place, as proposed in the 2006 EA, is not feasible. The Preliminary Engineering report recommended that the access road be relocated and lowered/modified, and the buildings and parking lot pavement on the adjacent parcels be demolished and the associated businesses relocated.

MCRA has retained Delta Airport Consultants, Inc. to prepare a Supplemental EA to update the 2006 EA with the acquisition of these two additional parcels. The Supplemental EA is to be prepared consistent with the guidelines of the National Environmental Policy Act (NEPA) and FAA Order 1050.1F, *Environmental Impacts: Policies and Procedures*.



January 4, 2016
Page 2

The purpose of this letter is to invite interested and involved parties to comment on items for the applicant to consider during the Supplemental EA process. You are included in the distribution list for this agency scoping memo because you, or your agency, were included during the 2006 EA agency coordination effort.

Proposed Action

The Proposed Action in the 2016 Supplemental EA is the fee-simple acquisition of two parcels (Parcels 28 and 29 on the attached exhibit); the grading/demolition of the pavement and buildings on Parcels 28 and 29; the relocation of the access road to serve Parcel 33. A fence is to be installed around the newly acquired airport property. There are three parcels within the study area (33, 28, and 29); only two (28 and 29) are proposed to be acquired.

Existing Land Use

GAI is an operating, general aviation airport located in Montgomery County, Maryland near the intersection of State Route 115 and State Route 124 (Woodfield Road). The airport property is heavily developed. Industrial land uses border the airport on all sides. Parcel 33 houses an airport hangar; Parcels 28 and 29 contain businesses (a gym and three auto-related shops, respectively).

Environmental Analysis

The Supplemental EA is to supplement only those document sections in the 2006 EA requiring update and is to provide concise analysis only for the potential environmental impacts that the Proposed Action, if any, may cause.

Because the project area consists of three industrial, paved and previously disturbed sites, no impacts to biotic and natural resources or water resources are anticipated. A search of the United States Fish and Wildlife Service (USFWS) Information, Planning, and Conservation (IPaC) database did not identify any endangered species or critical habitat within the study area. According to online USFWS National Wetlands Inventory (NWI) data, there are no wetlands within the study area; and Federal Emergency Management Agency (FEMA) floodplain data confirms the absence of floodplains within the study area. Coordination with the Maryland Historical Trust (MHT) conducted in July 2015 confirmed that there are no historic properties affected by the proposed undertaking.

Montgomery County has been designated by the Environmental Protection Agency (EPA) as a non-attainment area for ozone; per the 2006 EA, the proposed



January 4, 2016
Page 3

improvements would not have a significant, adverse impact on air quality. No air quality analysis is included in the environmental effort.

A Natural Resources Inventory (NRI) and Forest Stand Delineation (FSD) and report were prepared during the previous EA; the FSD is to be updated to include the three additional parcels within the EA study area. The NRI is also to be updated during this effort to confirm the absence of threatened and endangered species and wetlands in the project area. Coordination with USFWS and Maryland Department of Natural Resources (MDNR) is to be conducted during the Supplemental EA effort as part of the updated NRI/FSD.

A Phase 1 Environmental Due Diligence Audit (EDDA) was conducted on the three parcels in 2011 to identify any hazardous materials; the audit found minor soil contamination on Parcels 28 and 29. The Phase 1 EDDA is to be revisited and updated as appropriate during this Supplemental EA effort, and sub-surface investigation is to be conducted on Parcels 28 and 29. The Supplemental EA effort also includes environmental building materials inspections for the buildings on Parcels 28 and 29, which are slated to be demolished.

A proposed project exhibit and a USGS quad map have been enclosed for your reference.

Please send all comments to the address below or to mapearson@deltairport.com no later than February 5, 2016.

Ms. Mary Ashburn Pearson, AICP
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

If you have any questions or need further information, please do not hesitate to contact me.

Thank you for your consideration in this matter.

cc: Mr. Keith Miller, MCRA



January 4, 2016
Page 4

Agency Distribution List- Via Email Only

Federal Agencies

Mr. Marcus Brundage, REM, CHS-V
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Ms. Julie Slacum
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Chesapeake Bay Field Office
Division of Strategic Habitat
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Mr. James Myers
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Baltimore Districts Office
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**DELTA AIRPORT
CONSULTANTS, INC.**

January 4, 2016

Page 5

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January 4, 2016
Page 6

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January 4, 2016
Page 7

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Mr. Steve Connelly
Assistant Secretary Marketing Department
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Mr. William Leahy
Executive Director
Maryland Environmental Trust
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Crownsville, MD 21032-2023
william.leahy@maryland.gov
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Local / County Agencies

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of the Maryland-National Capitol Park & Planning Commission
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Silver Spring, MD 20910
Gwen.wright@montgomeryplanning.org
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**DELTA AIRPORT
CONSULTANTS, INC.**

January 4, 2016

Page 8

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Gaithersburg Vicinity
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Montgomery County Department of Environmental Protection
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**DELTA AIRPORT
CONSULTANTS, INC.**

January 4, 2016

Page 9

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Acting Director, Chief, MBD
Montgomery County Department of Economic Development
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Rockville, MD 20850
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Mr. Craig Simoneau, P.E.
Director
Montgomery County Department of Public Works and Administration
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Mr. Ike Leggett
County Executive
Montgomery County
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Ms. Nancy Floreen
President
Montgomery County Council
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Rockville, MD 20850
Councilmember.floreen@montgomerycountymd.gov
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Ms. Susan Swift, AICP
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Rockville, MD 20850
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**DELTA AIRPORT
CONSULTANTS, INC.**

January 4, 2016

Page 10

Ms. Diane Schwartz Jones

Director

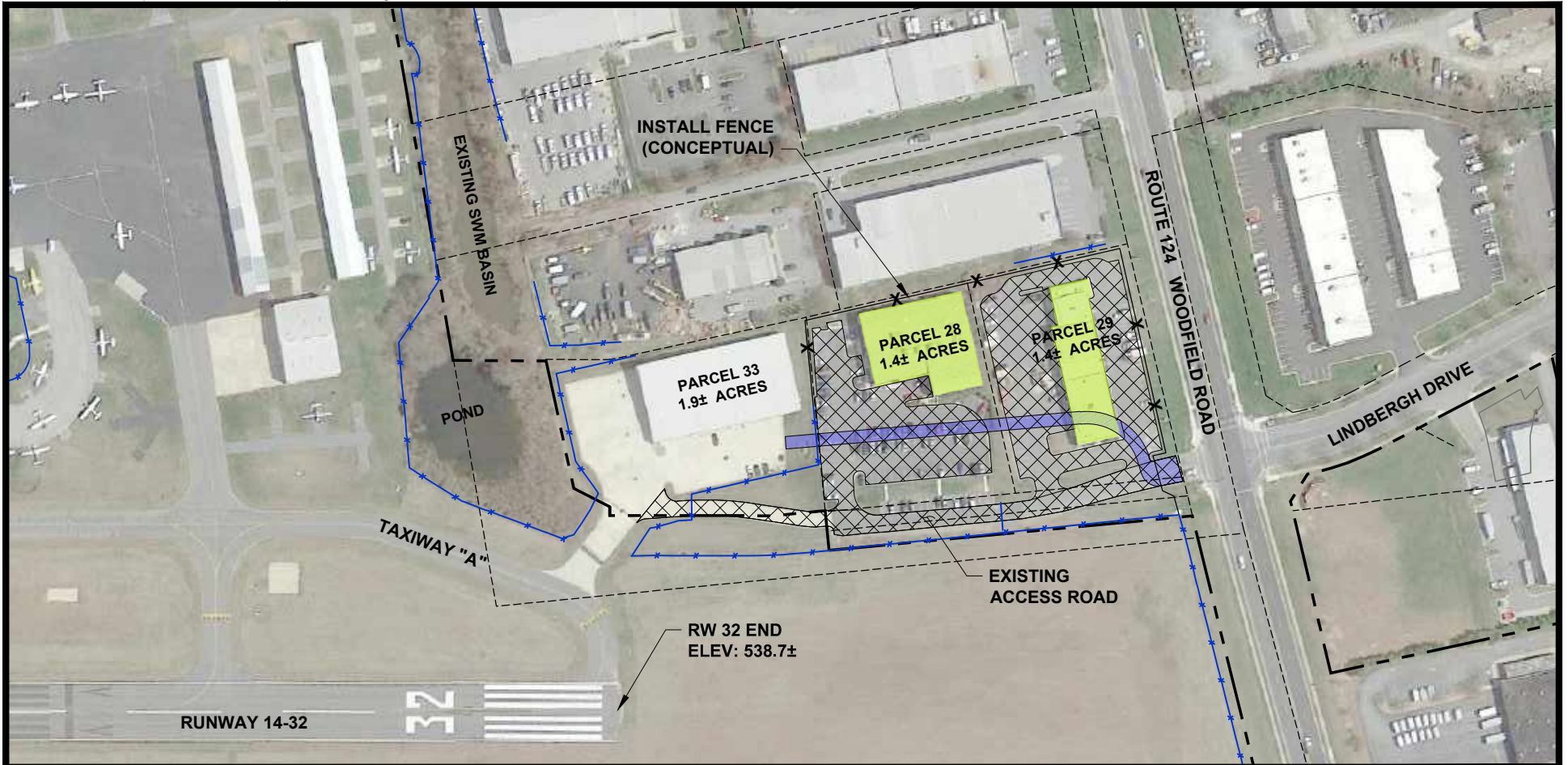
Montgomery County Department of Permitting Services

255 Rockville Pike, 2nd Flr








Rockville, MD 20850-4166

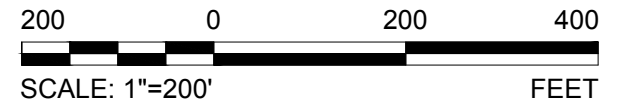
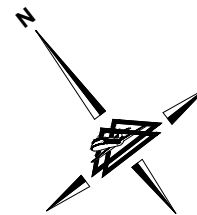
Diane.jones@montgomerycountymd.gov

240-777-0311



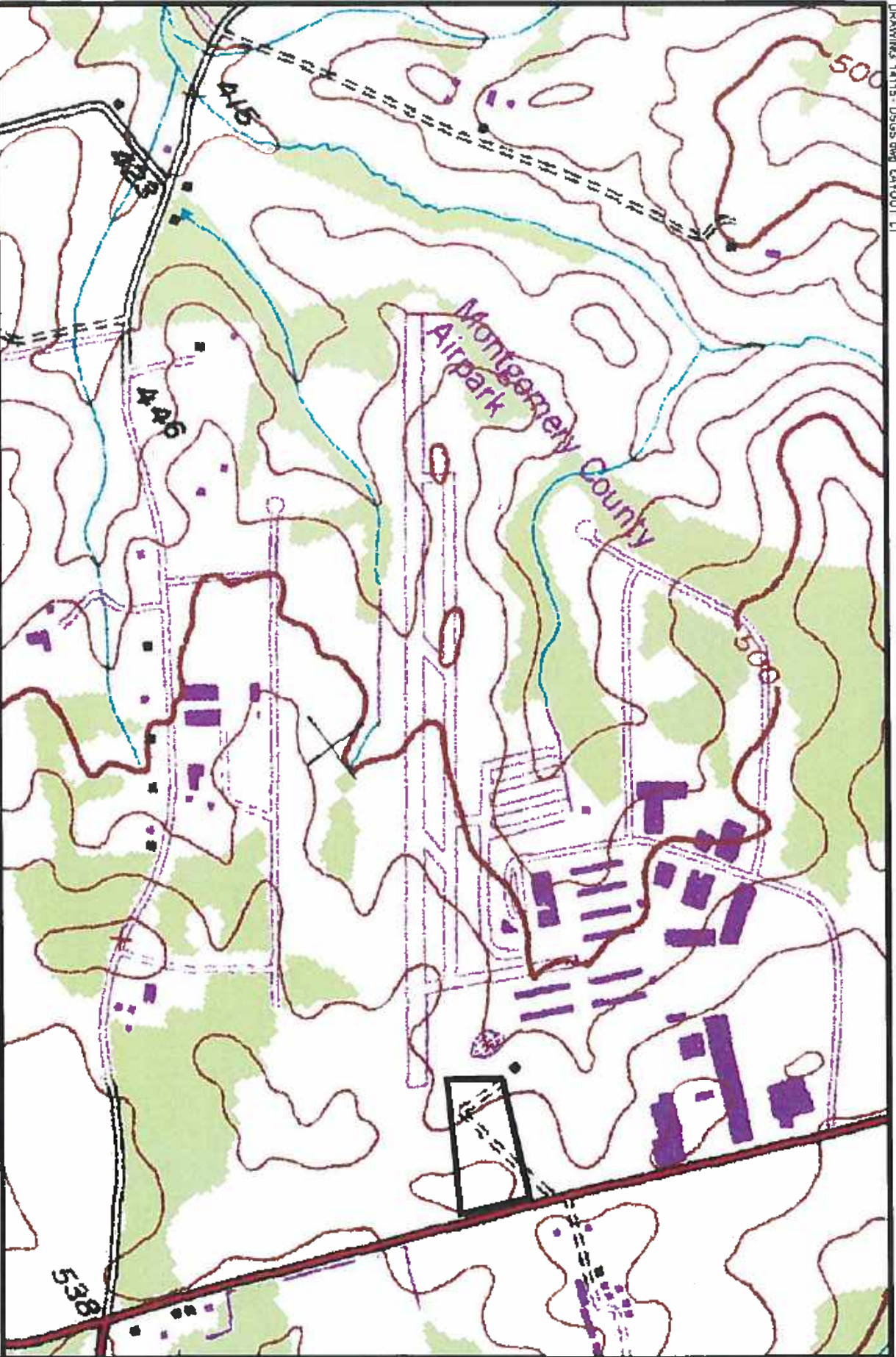
LEGEND

-  EXISTING AIRPORT PROPERTY LINE
-  EXISTING FENCE LINE
-  PROPOSED FENCE LINE
-  PARCEL LINE
-  PROPOSED BUILDING DEMOLITION
-  PROPOSED PAVEMENT DEMOLITION
-  PROPOSED ROAD REALIGNMENT (CONCEPTUAL)



**PROPOSED ACTION - 2016 SUPPLEMENTAL ENVIRONMENTAL ASSESSMENT
MONTGOMERY COUNTY AIRPARK**

**EXHIBIT
1**



USGS MAP (AFFECTED ENVIRONMENT)
MONTGOMERY COUNTY AIRPARK

SCALE: _____
DATE: _____
DISCUSS: 2015

EXHIBIT
2

Mary Ashburn Pearson

From: William Krozack <WKrozack@bwiairport.com>
Sent: Tuesday, January 05, 2016 2:13 PM
To: Kimberly A. Marcia
Subject: RE: Project: GAI-Supplemental EA for LA-Obstr Removal - File Transfer - Montgomery County Airpark - Agency Coordination Letter

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon Kim,

No comments from MAA...

Best regards,

Bill

William M. Krozack, C.M.

Maryland Aviation Administration

Airport Services Manager

410-859-7137 (office)

410-859- 7287 (FAX)

www.marylandregionalaviation.aero

From: Kimberly A. Marcia [mailto:KMarcia@deltairport.com]
Sent: Tuesday, January 05, 2016 11:09 AM
To: Marcus.Brundage@faa.gov; julie_thompson@fws.gov; James.myers@md.usda.gov; Steve.Harman@usace.army.mil; R3_RA@EPA.gov; William Krozack; linda.janey@maryland.gov; Emilyh.wilson@maryland.gov; Marian.honeczy@maryland.gov; brian.hug@maryland.gov; bruce.michael@maryland.gov; glenn.therres@maryland.gov; Aamanda.sigillito@maryland.gov; Steve.connelly@maryland.gov; Elizabeth.buxton@maryland.gov; Gwen.wright@montgomerycountyplanning.org; Glenn.kreger@montgomerycountyplanning.org; Steve.findley@montgomerycountyplanning.org; Holly.adams@montgomerycountyplanning.org; Lisa.feldt@montgomerycountymd.gov; Sally.sternbach@montgomerycountymd.gov; pw@rockvillemd.gov;



14115

*Larry Hagan, Governor
Boyd Rutherford, Lt. Governor
Mark Belton, Secretary
Joanne Throwe, Deputy Secretary*

January 11, 2016

Ms. Mary Ashburn Pearson
Delta Airport Consultants, Inc.
9711 Farrar Court
Suite 100
Richmond, Virginia 23236

DELTA AIRPORT
CONSULTANTS

JAN 13 2016

RICHMOND, VA

RE: Environmental Review for Montgomery County Airpark - supplemental EA for Airport Improvements, Montgomery County, Maryland.

Dear Ms. Pearson:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. This statement should not be interpreted however as meaning that rare, threatened or endangered species are not in fact present. If appropriate habitat is available, certain species could be present without documentation because adequate surveys have not been conducted.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER# 2016.0015.mo

14115



Maryland Department of Planning

Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

David R. Craig, Secretary
Wendy W. Peters, Deputy Secretary

January 7, 2016

TA AIRPORT
SULTS
25
RICHMOND, VA

Ms. Mary Ashburn Pearson, AICP
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

Scanned

STATE CLEARINGHOUSE REVIEW PROCESS – “EXPEDITE”

State Application Identifier: MD20160107-0009
Reply Due Date: 01/31/2016
Project Description: Scoping Prior to the Supplemental Environmental Assessment for fee-simple Land Acquisition (Parcels 28 and 29) and Obstruction Removal Project at the Montgomery County Airpark (Prior: MD20060803-0866)
Project Address: 7940 Airpark Road, Gaithersburg, MD 20879
Project Location: County(ies) of Montgomery
Clearinghouse Contact: Myra Barnes

Dear Ms. Ashburn Pearson:

Thank you for submitting your project for intergovernmental review. Your participation in the Maryland Intergovernmental Review and Coordination (MIRC) process helps to ensure that your project will be consistent with the plans, programs, and objectives of State agencies and local governments.

We have forwarded your project to the following agencies and/or jurisdictions for their review and comments: the Maryland Department(s) of Transportation, the Environment, Natural Resources; the County(ies) of Montgomery; the Regional Agency(ies) of Maryland-National Capital Park and Planning Commission in Montgomery; and the Maryland Department of Planning; including Maryland Historical Trust. A composite review and recommendation letter will be sent to you by the reply due date. Your project has been assigned a unique State Application Identifier that you should use on all documents and correspondence.

Please be assured that we will expeditiously process your project. The issues resolved through the MIRC process enhance the opportunities for project funding and minimize delays during project implementation. Also, if you need assistance or have questions, contact the State Clearinghouse staff noted above at 410-767-4490 or through e-mail at myra.barnes@maryland.gov. Thank you for your cooperation with the MIRC process.

DELTA AIRPORT
CONSULTANTS

JAN 25 2016

RICHMOND, VA

Sincerely,

Linda C. Janey, J.D., Assistant Secretary

LCJ:MB

cc: Steve Findley - MNCPPC - Gaithersburg

16-0009_NRR.NEW.doc



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

February 5, 2016

Ms. Mary Ashburn Pearson, AICP
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

Dear Ms. Pearson:

In response to your request for comments on the Montgomery County Airpark, Supplemental Environmental Assessment Invitation to Comment, the Montgomery County Planning Department offers the following comments. For tracking purposes, this project has been assigned the project review number MR2016016 and is being reviewed by the Planning Department as an administrative level Mandatory Referral.

Comments:

1. This project is in conformance with the recommendations in the 1985 Approved and Adopted Gaithersburg Vicinity Master Plan and the zoning on the site.
2. If this project requires obtaining a Sediment Control Permit, there is typically a requirement to be in compliance with Chapter 22A, Forest Conservation. If compliance with Chapter 22A is required, staff recommends that application be made to the Planning Department for an exemption to Article II of Chapter 22A. There are two exemptions that could apply: Under the (t) exemption provisions of the Forest Conservation Law, an exemption may be granted for a modification to an existing non residential developed property if:
 - a. No more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued;
 - b. The modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or located on a property in a special protection area which must submit a water quality plan;
 - c. The modification does not require approval of a preliminary plan of subdivision; and
 - d. The modification does not increase the developed area by more than 50% and the exiting development is maintained. (In order to meet this criterion, the exemption application should include Parcel 33 so that the requirement to retain the existing development can be met.)

The other potential exemption is the (s) exemption. This exemption applies to:

- a. An activity occurring on a tract of land less than 1.5 acres with no existing forest, or existing specimen or champion tree, and the afforestation requirements would not exceed 10,000 square feet. (To qualify for this exemption, application would have to be made separately for Parcel 28 and Parcel 29, as each is approximately 1.4 acres in size.)

Please do not hesitate to contact me if you have any questions or concerns. Thank you for the opportunity to comment.



Stephen J. Endley
FBI Administrative Services Unit Planning Division
M. NORPC, Montgomery County Planning Department
301-495-4727



Maryland Department of Planning

Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

David H. Craig, Secretary
Wendi W. Peters, Deputy Secretary

February 4, 2016

Ms. Mary Ashburn Pearson, AICP
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

STATE CLEARINGHOUSE RECOMMENDATION

State Application Identifier: MD20160107-0009

Applicant: Delta Airport Consultants, Inc.

Project Description: Scoping Prior to the Supplemental Environmental Assessment for fee-simple Land Acquisition (Parcels 28 and 29) and Obstruction Removal Project at the Montgomery County Airpark (Prior: MD20060803-0866)

Project Address: 7940 Airpark Road, Gaithersburg, MD 20879

Project Location: County(ies) of Montgomery

Approving Authority: U.S. Department of Transportation DOT/FAA

Recommendation: Consistent with Qualifying Comment(s)

Dear Ms. Ashburn Pearson:

In accordance with Presidential Executive Order 12372 and Code of Maryland Regulation 34.02.01.04-.06, the State Clearinghouse has coordinated the intergovernmental review of the referenced project. This letter, with attachments, constitutes the State process review and recommendation based upon comments received to date. This recommendation is valid for a period of three years from the date of this letter.

Review comments were requested from the Maryland Department(s) of Natural Resources, Transportation, the Environment; Montgomery County; Maryland National Capital Parks and Planning Commission - Montgomery County; and the Maryland Department of Planning, including the Maryland Historical Trust. As of this date, the Maryland Department(s) of Natural Resources and Transportation have not submitted comments. This recommendation is contingent upon the applicant considering and addressing any problems or conditions that may be identified by their review. Any comments received will be forwarded.

Montgomery County; the Maryland National Capital Parks and Planning Commission - Montgomery County; and the Maryland Department of Planning, including the Maryland Historical Trust found this project to be consistent with their plans, programs, and objectives.

The Maryland-National Capital Park and Planning Commission - Montgomery County stated that the "project is in substantial conformance with the adopted Gaithersburg Vicinity Master Plan (1985)."

The Maryland Historical Trust has determined that the project will have "no effect" on historic properties and that the federal and/or State historic preservation requirements have been met.

The Maryland Department of Environment found (MDE) this project to be generally consistent with their plans, programs, and objectives, but included certain qualifying comments summarized below.

1. Any above ground or underground petroleum storage tanks, which may be utilized, must be installed and maintained in accordance with applicable State and federal laws and regulations. Underground storage tanks must be registered and the installation must be conducted and performed by a contractor certified to install underground storage tanks by the Land Management Administration in accordance with COMAR 26.10. Contact the Oil Control Program at (410) 537-3442 for additional information.
2. If the proposed project involves demolition – Any above ground or underground petroleum storage tanks that may be on site must have contents and tanks along with any contamination removed. Please contact the Oil Control Program at (410) 537-3442 for additional information.
3. Any solid waste including construction, demolition and land clearing debris, generated from the subject project, must be properly disposed of at a permitted solid waste acceptance facility, or recycled if possible. Contact the Solid Waste Program at (410) 537-3315 for additional information regarding solid waste activities and contact the Waste Diversion and Utilization Program at (410) 537-3314 for additional information regarding recycling activities.
4. The Waste Diversion and Utilization Program should be contacted directly at (410) 537-3314 by those facilities which generate or propose to generate or handle hazardous wastes to ensure these activities are being conducted in compliance with applicable State and federal laws and regulations. The Program should also be contacted prior to construction activities to ensure that the treatment, storage or disposal of hazardous wastes and low-level radioactive wastes at the facility will be conducted in compliance with applicable State and federal laws and regulations.
5. Any contract specifying “lead paint abatement” must comply with Code of Maryland Regulations (COMAR) 26.16.01 - Accreditation and Training for Lead Paint Abatement Services. If a property was built before 1950 and will be used as rental housing, then compliance with COMAR 26.16.02 - Reduction of Lead Risk in Housing; and Environment Article Title 6, Subtitle 8, is required. Additional guidance regarding projects where lead paint may be encountered can be obtained by contacting the Environmental Lead Division at (410) 537-3825.
6. The proposed project may involve rehabilitation, redevelopment, revitalization, or property acquisition of commercial, industrial property. Accordingly, MDE's Brownfields Site Assessment and Voluntary Cleanup Programs (VCP) may provide valuable assistance to you in this project. These programs involve environmental site assessment in accordance with accepted industry and financial institution standards for property transfer. For specific information about these programs and eligibility, please contact the Land Restoration Program at (410) 537-3437.
7. Additional comments from the Science Services Administration are enclosed.

Any statement of consideration given to the comments(s) should be submitted to the approving authority, with a copy to the State Clearinghouse. The State Application Identifier Number must be placed on any correspondence pertaining to this project. The State Clearinghouse must be kept informed if the approving authority cannot accommodate the recommendation.

Please remember, you must comply with all applicable state and local laws and regulations. If you need assistance or have questions, contact the State Clearinghouse staff person noted above at 410-767-4490 or through e-mail at myra.barnes@maryland.gov. **Also please complete the attached form and return it to the State Clearinghouse as soon as the status of the project is known. Any substitutions of this form must include the State Application Identifier Number. This will ensure that our files are complete.**

Thank you for your cooperation with the MIRC process.

Sincerely,



Linda C. Janey, J.D., Assistant Secretary

LCJ:MB

Enclosure(s)

cc: Steve Findley - MNCPPC - Gaithersburg

Tina Quinichette - MDOT

Amanda Degen - MDE

Greg Golden - DNR

Greg Ossont - MTGM

Cathy Conlon - MNCPPCM

Bihui Xu - MDPI-T

Peter Conrad - MDPL

Beth Cole - MHT

16-0009_CRR.CLS.doc

**Scoping Prior to the Supplemental
Environmental Assessment for fee-simple Land Acquisition
(Parcels 28 and 29) and Obstruction Removal Project at the
Montgomery County Airpark**

Maryland Department of the Environment - Science Services Administration

**REVIEW FINDING: R1 Consistent with Qualifying Comments
MD20160107-0009**

The following additional comments are intended to alert interested parties to issues regarding water quality standards. The comments address:

A. Water Quality Impairments: Section 303(d) of the federal Clean Water Act requires the State to identify impaired waters and establish Total Maximum Daily Loads (TMDLs) for the substances causing the impairments. A TMDL is the maximum amount of a substance that can be assimilated by a waterbody such that it still meets water quality standards.

Planners should be aware of existing water quality impairments identified on Maryland's 303(d) list. The Project is situated in the Seneca Creek and Rock Creek watersheds, identified by the MD 8-digit codes 02140208 and 02140206 which are currently impaired by several substances and subject to regulations regarding the Clean Water Act.

Planners may find a list of nearby impaired waters by entering the 8-digit basin code into an on-line database linked to the following URL:
<http://www.mde.state.md.us/programs/Water/TMDL/Integrated303dReports/Pages/303d.aspx>.

This list is updated every even calendar year. Planners should review this list periodically to help ensure that local decisions consider water quality protection and restoration needs. **Briefly, the current impairments that are relevant to the Project include the following:**

Seneca Creek (02140208):

Nutrients:	Impoundment, Clopper Lake. A TMDL was written and approved by EPA.
Sediments:	Impoundment, Clopper Lake, Non-tidal. A TMDL was written and approved by EPA.
Chlorides:	Non-tidal. A TMDL is pending development.

Rock Creek (02140206):

Nutrients: Non-tidal. A TMDL is pending development.
Bacteria: Non-tidal. A TMDL was written and approved by EPA.
Sediments: Non-tidal. A TMDL was written and approved by EPA.

B. TMDLs: Development and implementation of the any Plan should take into account consistency with TMDLs developed for the impaired waterbodies referenced above. Decisions made prior to the development of a TMDL should strive to ensure no net increase of impairing substances. TMDLs are made available on an updated basis at the following web site:

<http://www.mde.state.md.us/programs/Water/TMDL/CurrentStatus/Pages/Programs/WaterPrograms/TMDL/Summittals/index.aspx>

Special protections for high-quality waters in the local vicinity, which are identified pursuant to Maryland's anti-degradation policy;

C. Anti-degradation of Water Quality: Maryland requires special protections for waters of very high quality (Tier II waters). The policies and procedures that govern these special waters are commonly called "anti-degradation policies." This policy states that "proposed amendments to county plans or discharge permits for discharge to Tier II waters that will result in a new, or an increased, permitted annual discharge of pollutants and a potential impact to water quality, shall evaluate alternatives to eliminate or reduce discharges or impacts." These permitted annual discharges are not just traditional Point Sources, it can include all discharges such as Stormwater.

Currently, Tier II waters are not present in the area surrounding the project.

Planners should be aware of legal obligations related to Tier II waters described in the Code of Maryland Regulations (COMAR) 26.08.02.04 with respect to current and future land use plans. Information on Tier II waters can be obtained online at: <http://www.dsd.state.md.us/comar/comarhtml/26/26.08.02.04.htm> and policy implementation procedures are located at <http://www.dsd.state.md.us/comar/comarhtml/26/26.08.02.04-1.htm>

Planners should also note that since the Code of Maryland Regulations is subject to periodic updates. A list of Tier II waters pending Departmental listing in COMAR can be found, with a discussion and maps for each county, at the following website:

<http://www.mde.state.md.us/programs/Water/TMDL/Water%20Quality%20Standards/Pages/HighQualityWatersMap.aspx>

ADDITIONAL COMMENTS

Chesapeake Bay TMDL

With the completion of the Chesapeake Bay TMDL, the Chesapeake Bay Program Office (CBPO) will be able to provide loading data at a more refined scale than in the past. MDE will be able to use the CBPO data to estimate pollution allocations at the jurisdictional level (which will include Federal Facilities) to provide allocations to the Facilities. These allocations, both Wasteload (WLA) and Load Allocation (LA) could call for a reduction in both Point Sources and Nonpoint Sources. Facilities should be aware of reductions and associated implementation required by WIPs or FIPs.

Stormwater

The project should consider all Maryland Stormwater Management Controls. Site Designs should consider all Environmental Site Design to the Maximum Extent Practicable and "Green Building" Alternatives. Designs that reduce impervious surface and BMPs that increase runoff infiltration are highly encouraged.

Further Information:

<http://www.mde.state.md.us/programs/Water/StormwaterManagementProgram/Pages/Programs/WaterPrograms/SedimentandStormwater/swm2007.aspx>

Environmental Site Design (Chapter 5):

<http://www.mde.state.md.us/programs/Water/StormwaterManagementProgram/MarylandStormwaterDesignManual/Documents/www.mde.state.md.us/assets/document/chapter5.pdf>

Redevelopment Regulations:

<http://www.dsd.state.md.us/comar/comarhtml/26/26.17.02.05.htm>

**Scoping Prior to the Supplemental
Environmental Assessment for fee-simple
Land Acquisition (Parcels 28 and 29) and
Obstruction Removal Project at the
Montgomery County Airport
Montgomery County
MD20160107-0009**



Legend

- Streams
- MD High Quality Waters
- ▨ MD High Quality Waters
- 8-digit Watershed

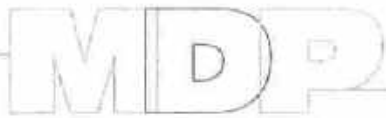
Map Date: 1/12/2016 Drawn By: MDE/SSA-NFL
 Lat: 39°53'48"N Long: 77°52'30"W
 Elevation: 548 ft



Data Sources:

Google Earth- US Geological Survey
 Imagery - MD Map 2.0
 Streets - State Highway Administration, USGS
 Watersheds - 8-digit - MD Dept. of the Environment





Maryland Department of Planning

Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

David R. Craig, Secretary
Wendli W. Peters, Deputy Secretary

PROJECT STATUS FORM

Please complete this form and return it to the State Clearinghouse upon receipt of notification that the project has been approved or not approved by the approving authority.

TO: Maryland State Clearinghouse
Maryland Department of Planning
301 West Preston Street
Room 1104
Baltimore, MD 21201-2305

DATE: _____
(Please fill in the date form completed)

FROM: _____
(Name of person completing this form.)

PHONE: _____
(Area Code & Phone number)

RE: State Application Identifier: MD20160107-0009
Project Description: Scoping Prior to the Supplemental Environmental Assessment for fee-simple Land Acquisition (Parcels 28 and 29) and Obstruction Removal Project at the Montgomery County Airpark (Prior: MD20060803-0866)

PROJECT APPROVAL			
This project/plan was:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification	<input type="checkbox"/> Disapproved
Name of Approving Authority:			Date Approved:

FUNDING APPROVAL			
<i>The funding (if applicable) has been approved for the period of:</i>			
_____, 201__ to _____, 201__ as follows:			
Federal \$:	Local \$:	State \$:	Other \$:
_____	_____	_____	_____

OTHER
<input type="checkbox"/> Further comment or explanation is attached

30-Day Public Review of Draft Document
August 20, 2017 - September 20, 2017
No public comments received

Ad # 12124990
Class 825 PO#

Name MONTGOMERY CO REVENUE AUTHORITY ATTN: KE
Authorized by

Size 80 Lines

T0020
Account 1010196335

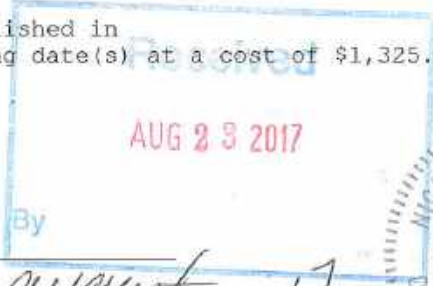
PROOF OF PUBLICATION

District of Columbia, ss., Personally appeared before me, a Notary Public in and for the said District, Travona James well known to me to be BILLING SUPERVISOR of The Washington Post, a daily newspaper published in the City of Washington, District of Columbia, and making oath in due form of law that an advertisement containing the language annexed hereto was published in said newspaper on the dates mentioned in the certificate herein.

I Hereby Certify that the attached advertisement was published in The Washington Post, a daily newspaper, upon the following date(s) at a cost of \$1,325.00 and was circulated in the Washington metropolitan area.

Published 1 time(s). Date(s): 20 of August 2017

Account 1010196335

By 



Witness my hand and official seal this 24th day of August 2017

My commission expires 5/31/2020

Draft Supplemental Environmental Assessment for Montgomery Airpark Notice of Availability The Montgomery County Revenue Authority, owner and operator of the Montgomery County Airpark (GAI), proposes property interest acquisition of two parcels on the Runway 32 end for the purpose of obstruction removal, in accordance with the approved Airport Property Map. The purpose of the project is to remove obstructions to 14 CFR Part 77 airspace surfaces in accordance with FAA requirements. A Draft Supplemental Environmental Assessment (EA) has been prepared to examine the environmental consequences of the proposed project. The Federal Aviation Administration (FAA) is the lead agency under the National Environmental Policy Act (NEPA). A copy of the Draft Supplemental EA is available for public review during business hours at the following locations: Montgomery County Revenue Authority, 101 Monroe Street, Suite 410, Rockville, MD 20850; Gaithersburg Library, Circulation Desk, 18330 Montgomery Village Ave.; and online on the Montgomery County Airpark website (<http://www.montgomerycountyairpark.com/community-page-.html>). Comments received will be reviewed and addressed in the Final EA, as appropriate. Written comments to the EA may be submitted to: Mary A. Pearson, AICP, Delta Airport Consultants, Inc., 9711 Farrar Court, Suite 100, Richmond, VA 23236. Comments on the Draft Supplemental EA must be received no later than 5:00 pm Eastern Time, September 20, 2017. Before including your address, phone number, e-mail address, or other personal identifying information in your comment, be advised that your entire comment-including your personal identifying information- may be made publically available at any time. While you can ask us in your comment to withhold from public review your personal identifying information, we cannot guarantee that we will be able to do so.

30-Day Public Review of Draft Document
August 20, 2017 - September 20, 2017
No public comments received

**30-Day Agency Review of Draft
Document
September 2017-October 2017**



Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

Robert S. McCord, Acting Secretary

September 26, 2017

Ms. Mary Ashburn Pearson, AICP
Project Manager
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

STATE CLEARINGHOUSE REVIEW PROCESS

State Application Identifier: MD20170925-0837

Reply Due Date: 10/31/2017

Project Description: Draft Environmental Assessment for Land Acquisition and Obstruction Removal Project at the Montgomery County Airpark in Gaithersburg, Maryland (Prior: MD20160107-0009)

Project Address: 7940 Airpark Road, Gaithersburg, MD 20879

Project Location: Municipality(ies) of Montgomery-City of Gaithersburg

Clearinghouse Contact: Myra Barnes

Dear Ms. Ashburn Pearson:

Thank you for submitting your project for intergovernmental review. Your participation in the Maryland Intergovernmental Review and Coordination (MIRC) process helps to ensure that your project will be consistent with the plans, programs, and objectives of State agencies and local governments.

We have forwarded your project to the following agencies and/or jurisdictions for their review and comments: the Maryland Department(s) of Natural Resources, the Environment, Transportation; and the Maryland Department of Planning; including Maryland Historical Trust. A composite review and recommendation letter will be sent to you by the reply due date. Your project has been assigned a unique State Application Identifier that you should use on all documents and correspondence.

Please be assured that we will expeditiously process your project. The issues resolved through the MIRC process enhance the opportunities for project funding and minimize delays during project implementation. Also, if you need assistance or have questions, contact the State Clearinghouse staff noted above at 410-767-4490 or through e-mail at myra.barnes@maryland.gov. Thank you for your cooperation with the MIRC process.

Sincerely,

A handwritten signature in blue ink that reads "Myra A. Barnes".

Myra Barnes, Lead Clearinghouse Coordinator

MB:MB

cc: Greg Ossont - MTGM
17-0837_NRR.NEW.docx



November 2, 2017

Ms. Mary Ashburn Pearson, AICP
Project Manager
Delta Airport Consultants, Inc.
9711 Farrar Court, Suite 100
Richmond, VA 23236

STATE CLEARINGHOUSE RECOMMENDATION

State Application Identifier: MD20170925-0837

Applicant: Delta Airport Consultants, Inc.

Project Description: Draft Environmental Assessment for Land Acquisition and Obstruction Removal Project at the Montgomery County Airpark in Gaithersburg, Maryland (Prior: MD20160107-0009)

Project Address: 7940 Airpark Road, Gaithersburg, MD 20879

Project Location: Municipality(ies) of Montgomery-City of Gaithersburg

Approving Authority: U.S. Department of Transportation DOT/FAA

Recommendation: Consistent with Qualifying Comment(s)

Dear Ms. Ashburn Pearson:

In accordance with Presidential Executive Order 12372 and Code of Maryland Regulation 34.02.01.04-.06, the State Clearinghouse has coordinated the intergovernmental review of the referenced project. This letter constitutes the State process review and recommendation. This recommendation is valid for a period of three years from the date of this letter.

Review comments were requested from the Maryland Department(s) of Natural Resources, Transportation, the Environment; and the Maryland Department of Planning, including the Maryland Historical Trust. As of this date, the Maryland Department(s) of Natural Resources and Transportation; have not submitted comments.

The Maryland Department of Planning, including the Maryland Historical Trust found this project to be consistent with their plans, programs, and objectives.

Our Department (Planning) noted that "this project will improve air facility safety by implementing FAA-mandated policies to remove height obstructions (i.e. tall tree's, buildings and roadways located within the runway protection zone). The airport and its associated improvements are located within a Priority Funding Area."

The Maryland Historical Trust has determined that the project will have "no effect" on historic properties and that the federal and/or State historic preservation requirements have been met.

The Maryland Department of Environment (MDE) found this project to be generally consistent with their plans, programs, and objectives, but included certain qualifying comments summarized below.

1. If the applicant suspects that asbestos is present in any portion of the structure that will be renovated/demolished, then the applicant should contact the Community Environmental Services Program at (410) 537-3215 to learn about the State's requirements.
2. Construction, renovation and/or demolition of buildings and roadways must be performed in conformance with State regulations pertaining to "Particulate Matter from Materials Handling and Construction" requiring that during any construction and/or demolition work, reasonable precaution must be taken to prevent particulate matter, such as fugitive dust, from becoming airborne.
3. During the duration of the project, soil excavation/grading/site work will be performed; there is a potential for encountering soil contamination. If soil contamination is present, a permit for soil remediation is required from MDE. Please contact the New Source Permits Division at (410) 537-3230 to learn about the State's requirements.
4. If the proposed project involves demolition – Any above ground or underground petroleum storage tanks that may be on site must have contents and tanks along with any contamination removed. Please contact the Oil Control Program at (410) 537-3442 for additional information.
5. Any solid waste including construction, demolition and land clearing debris, generated from the subject project, must be properly disposed of at a permitted solid waste acceptance facility, or recycled if possible. Contact the Solid Waste Program at (410) 537-3315 for additional information regarding solid waste activities and contact the Waste Diversion and Utilization Program at (410) 537-3314 for additional information regarding recycling activities.
6. The Waste Diversion and Utilization Program should be contacted directly at (410) 537-3314 by those facilities which generate or propose to generate or handle hazardous wastes to ensure these activities are being conducted in compliance with applicable State and federal laws and regulations. The Program should also be contacted prior to construction activities to ensure that the treatment, storage or disposal of hazardous wastes and low-level radioactive wastes at the facility will be conducted in compliance with applicable State and federal laws and regulations.
7. The proposed project may involve rehabilitation, redevelopment, revitalization, or property acquisition of commercial, industrial property. For specific information about these programs and eligibility, please contact the Land Restoration Program at (410) 537-3437.

Any statement of consideration given to the comments should be submitted to the approving authority, with a copy to the State Clearinghouse. The State Application Identifier Number must be placed on any correspondence pertaining to this project. The State Clearinghouse must be kept informed if the approving authority cannot accommodate the recommendation.

Please remember, you must comply with all applicable state and local laws and regulations. If you need assistance or have questions, contact the State Clearinghouse staff person noted above at 410-767-4490 or through e-mail at myra.barnes@maryland.gov. **Also, please complete the attached form and return it to the State Clearinghouse as soon as the status of the project is known. Any substitutions of this form must include the State Application Identifier Number. This will ensure that our files are complete.**

Ms. Mary Ashburn Pearson, AICP

November 2, 2017

Page 3

State Application Identifier: **MD20170925-0837**

Thank you for your cooperation with the MIRC process.

Sincerely,



Myra Barnes, Lead Clearinghouse Coordinator

MB:MB

Enclosure(s)

cc: Greg Ossont - MTGM
Greg Golden - DNR
Amanda Degen - MDE

Tina Quinichette - MDOT
Bihui Xu - MDPI-T

Joseph Griffiths - MDPL
Beth Cole - MHT

17-0837_CRR.CLS.docx



Larry Hogan, Governor
Boyd Rutherford, Lt. Governor

Robert S. McCord, Acting Secretary

PROJECT STATUS FORM

Please complete this form and return it to the State Clearinghouse upon receipt of notification that the project has been approved or not approved by the approving authority.

TO: Maryland State Clearinghouse
Maryland Department of Planning
301 West Preston Street
Room 1104
Baltimore, MD 21201-2305

DATE: _____
(Please fill in the date form completed)

FROM: _____
(Name of person completing this form.)

PHONE: _____
(Area Code & Phone number)

RE: State Application Identifier: MD20170925-0837
Project Description: Draft Environmental Assessment for Land Acquisition and Obstruction Removal
Project at the Montgomery County Airpark in Gaithersburg, Maryland (Prior: MD20160107-0009)

PROJECT APPROVAL			
This project/plan was:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification	<input type="checkbox"/> Disapproved
Name of Approving Authority:	Date Approved:		
_____	_____		

FUNDING APPROVAL			
<i>The funding (if applicable) has been approved for the period of:</i>			
_____, 201__ to _____, 201__ as follows:			
Federal \$:	Local \$:	State \$:	Other \$:
_____	_____	_____	_____

OTHER	
<input type="checkbox"/> Further comment or explanation is attached	

APPENDIX G

U.S. Fish and Wildlife Service Coordination



Mary Ashburn Pearson

From: CBFO Project Review, FW5 <cbfoprojectreview@fws.gov>
Sent: Tuesday, September 27, 2016 11:33 AM
To: Mary Ashburn Pearson
Subject: "cbfoprojectreview@fws.gov" return receipt Re: Online Project Review Certification Letter

This message is a return receipt from the "cbfoprojectreview@fws.gov" mailbox. The U.S. Fish and Wildlife Service has received your project. Thank you.



United States Department of the Interior

U.S. Fish & Wildlife Service
Chesapeake Bay Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401
410/573 4575



Online Certification Letter

Today's date:

Project:

Dear Applicant for online certification:

Thank you for using the U.S. Fish and Wildlife Service (Service) Chesapeake Bay Field Office online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the referenced project in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

Based on this information and in accordance with section 7 of the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.), we certify that except for occasional transient individuals, no federally proposed or listed endangered or threatened species are known to exist within the project area. Therefore, no Biological Assessment or further section 7 consultation with the U.S. Fish and Wildlife Service is required. Should project plans change, or if additional information on the distribution of listed or proposed species becomes available, this determination may be reconsidered.

This response relates only to federally protected threatened or endangered species under our jurisdiction. For additional information on threatened or endangered species in Maryland, you should contact the Maryland Wildlife and Heritage Division at (410) 260-8573. For information in Delaware you should contact the Delaware Division of Fish and Wildlife, Wildlife Species Conservation and Research Program at (302) 735-8658. For information in the District of Columbia, you should contact the National Park Service at (202) 339-8309.

The U.S. Fish and Wildlife Service also works with other Federal agencies and states to minimize loss of wetlands, reduce impacts to fish and migratory birds, including bald eagles, and restore habitat for wildlife. Information on these conservation issues and how development projects can avoid affecting these resources can be found on our website (www.fws.gov/chesapeakebay)

We appreciate the opportunity to provide information relative to fish and wildlife issues, and thank you for your interest in these resources. If you have any questions or need further assistance, please contact Chesapeake Bay Field Office Threatened and Endangered Species program at (410) 573-4527.

Sincerely,

Genevieve LaRouche
Field Supervisor



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Chesapeake Bay Ecological Services Field Office
177 ADMIRAL COCHRANE DRIVE
ANNAPOLIS, MD 21401

PHONE: (410)573-4599 FAX: (410)266-9127

URL: www.fws.gov/chesapeakebay/;

www.fws.gov/chesapeakebay/endsppweb/ProjectReview/Index.html

Consultation Code: 05E2CB00-2016-SLI-2051

September 27, 2016

Event Code: 05E2CB00-2016-E-02033

Project Name: GAI Supplemental EA

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. This species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Official Species List

Provided by:

Chesapeake Bay Ecological Services Field Office

177 ADMIRAL COCHRANE DRIVE

ANNAPOLIS, MD 21401

(410) 573-4599

<http://www.fws.gov/chesapeakebay/>

<http://www.fws.gov/chesapeakebay/endsppweb/ProjectReview/Index.html>

Consultation Code: 05E2CB00-2016-SLI-2051

Event Code: 05E2CB00-2016-E-02033

Project Type: DEVELOPMENT

Project Name: GAI Supplemental EA

Project Description: Purchase and raze two buildings and parking lots

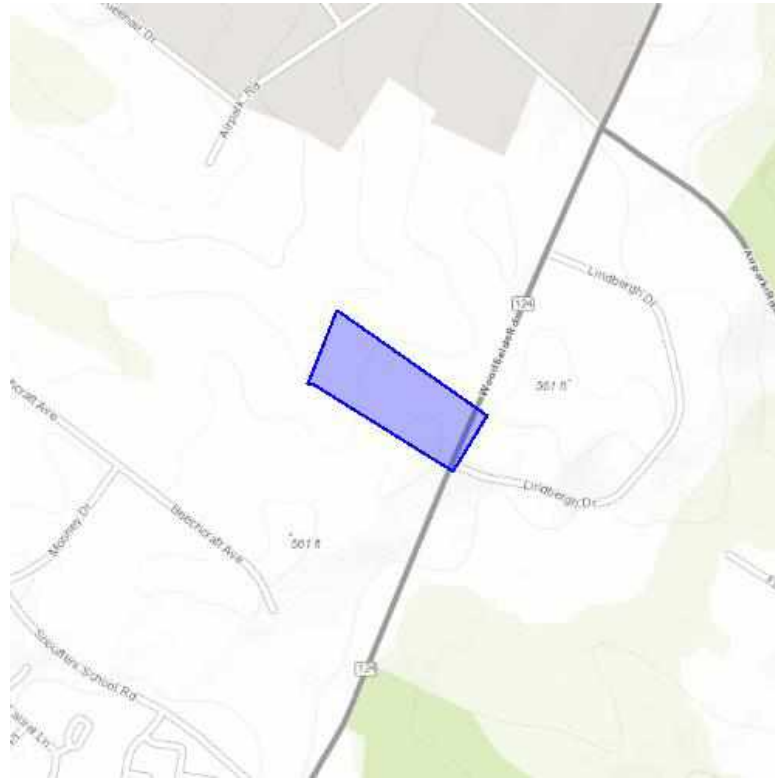
Please Note: The FWS office may have modified the Project Name and/or Project Description, so it may be different from what was submitted in your previous request. If the Consultation Code matches, the FWS considers this to be the same project. Contact the office in the 'Provided by' section of your previous Official Species list if you have any questions or concerns.



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Project Location Map:



Project Coordinates: MULTIPOLYGON (((-77.15942859649658 39.16648682406109, -77.15658009052277 39.16493545943983, -77.1572345495224 39.164132729192296, -77.1598470211029 39.16538465164309, -77.15998649597168 39.16538881081673, -77.15942859649658 39.16648682406109)))

Project Counties: Montgomery, MD



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Endangered Species Act Species List

There are a total of 0 threatened or endangered species on your species list. Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Critical habitats listed under the **Has Critical Habitat** column may or may not lie within your project area. See the **Critical habitats within your project area** section further below for critical habitat that lies within your project. Please contact the designated FWS office if you have questions.

There are no listed species identified for the vicinity of your project.



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Critical habitats that lie within your project area

There are no critical habitats within your project area.



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Appendix A: FWS National Wildlife Refuges and Fish Hatcheries

There are no refuges or fish hatcheries within your project area.



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

Appendix B: NWI Wetlands

The U.S. Fish and Wildlife Service is the principal Federal agency that provides information on the extent and status of wetlands in the U.S., via the National Wetlands Inventory Program (NWI). In addition to impacts to wetlands within your immediate project area, wetlands outside of your project area may need to be considered in any evaluation of project impacts, due to the hydrologic nature of wetlands (for example, project activities may affect local hydrology within, and outside of, your immediate project area). It may be helpful to refer to the USFWS National Wetland Inventory website. The designated FWS office can also assist you. Impacts to wetlands and other aquatic habitats from your project may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal Statutes. Project Proponents should discuss the relationship of these requirements to their project with the Regulatory Program of the appropriate U.S. Army Corps of Engineers District.

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery and/or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Exclusions - Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Precautions - Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of



United States Department of Interior
Fish and Wildlife Service

Project name: GAI Supplemental EA

this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

The following NWI Wetland types intersect your project area in one or more locations. To understand the NWI Classification Code, see <https://ecos.fws.gov/ipac/wetlands/decoder>. To view the National Wetlands Inventory on a map go to <http://www.fws.gov/wetlands/Data/Mapper.html>.

Wetland Types	NWI Classification Code
Freshwater Pond	PUBHx

APPENDIX H

2006 Finding of No Significant Impact
(FONSI)

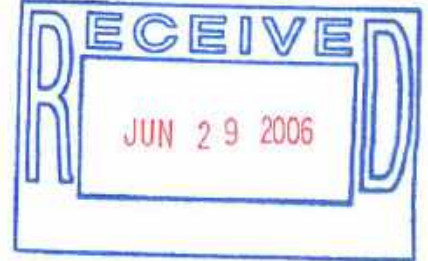




U. S. Department
of Transportation

Federal Aviation
Administration

WASHINGTON AIRPORTS DISTRICT OFFICE
23723 Air Freight Land, Suite 210
Dulles, Virginia 20166
Telephone: 703/661-1354
Fax: 703/661-1370



June 26, 2006

Mr. Marc Atz
Executive Director, Montgomery County Revenue Authority
101 Monroe Street, Suite 410
Rockville, MD 20850

Re: Finding of No Significant Impact – Montgomery County Airpark

Dear Mr. Atz:

Enclosed is one copy of the Finding of No Significant Impact (FONSI), for the proposed improvement projects at Montgomery County Airpark for your information and files. We wish to thank you for your efforts in completing this action.

In accordance with FAA Order 5050.4B, *National Environmental Policy Act (NEPA) Implementing Instructions for Airport Actions*, you are required to publish a notice of availability of the FONSI in the local newspaper. We have included a sample public notice that you may use. We would suggest that the public notice be published two times. Please forward a proof of publication of the notice to this office for our files.

If you have any questions, please contact me at 703-661-1362.

Sincerely,

Jennifer Mendelsohn
Environmental Protection Specialist

cc: Maria Stanco, FAA Environmental Team Lead
Colleen Angstadt, Delta Airport Consultants, Inc.

SAMPLE

NOTICE OF FINDING OF NO SIGNIFICANT IMPACT

The Federal Aviation Administration has announced that a "Finding of No Significant Impact" (FONSI) has been approved based upon results of a Final Environmental Assessment prepared in June 2006. The proposed project is the Airport's Five Year Capital Improvement Program at Montgomery County Airpark, Gaithersburg, Maryland.

The following projects are addressed by the FONSI:

- Remove obstructions for Runway 14/32.
- Lower adjacent access road and parking lot.
- Acquire approximately 26 acres for Runway Protection Zone control.
- Install holding position signage and marking and install PAPI's.

The FONSI indicates that the proposed action is consistent with existing environmental policies and objectives as set forth in the National Environmental Policy Act of 1969 in that it will not significantly affect the quality of *the human* environment.

Copies of the FONSI are available for public inspection at the following locations:

Federal Aviation Administration
Washington Airports District Office
23723 Air Freight Lane, Suite 210
Dulles, Virginia 20166

Montgomery County Revenue Authority
101 Monroe Street, Suite 410
Rockville, MD 20850

Local libraries where the Draft/Final EA was placed for public review

**U.S. DEPARTMENT OF TRANSPORTATION
FEDERAL AVIATION ADMINISTRATION
FINDING OF NO SIGNIFICANT IMPACT**

Montgomery County Airpark
Gaithersburg, Montgomery County, Maryland

Airport's Five Year Capital Improvement Program

1. **Introduction.** This document is a Finding of No Significant Impact on the environment as a result of a development proposal by the Montgomery County Revenue Authority (MCRA) owner and operator of Montgomery County Airpark (GAI). MCRA's proposed actions are obstruction removal, lower access road and parking lot, install holding position signage and marking, install Precision Approach Path Indicators (PAPIs) and acquisition of approximately 26 acres of land for Runway Protection Zone (RPZ) control. The Federal Aviation Administration (FAA) must comply with the National Environmental Policy Act of 1969 (NEPA) before being able to take the federal action of further processing of an application for Federal assistance in funding various airport development and for approval of the Airport Layout Plan (ALP) that depicts the proposed airport development projects. Approval of the ALP is authorized by the Airport and Airway Improvement Act of 1982, as amended (Public Laws 97-248 and 100-223).
2. **Project Purpose and Need.** The purpose of the proposed improvements are to maintain the existing Airport Reference Code (ARC) B-II operational category and improve safety and efficiency, through compliance with FAA design standards at Montgomery County Airpark. The proposed land acquisition, obstruction removal and installation of PAPI's will enhance safety of aircraft operations by providing adequate RPZs to meet FAA safety and design standards. This project is part of the National Plan of Integrated Airport Systems (NPIAS), which is planned to provide public airport facilities conforming to minimum design standards.

Obstruction removal includes the grading of terrain, removal of existing trees and similar natural growth objects, as well as buildings within the protected airspace for Runway 14/32 and the elimination of obstructions to the Federal Aviation Regulation (FAR) Part 77, *Objects Affecting Navigable Airspace* surfaces. The adjacent access road and parking lot will be lowered to provide adequate vertical clearance to Part 77 surfaces to meet FAA design standards. Property interest acquisition is necessary to gain controlling interest in the Runway 14/32 primary surface and RPZs and aid in the removal of obstructions. Property interest includes acquiring the property and existing buildings, and if necessary, relocating businesses.

3. **Proposed Project.** The following is a listing of the various components of the proposed project:
 - Remove obstructions for Runway 14/32.
 - Lower adjacent access road and parking lot.
 - Acquire approximately 26 acres for Runway Protection Zone control.
 - Install holding position signage and marking and install PAPI's.
4. **Reasonable Alternatives Considered.** As described in Chapter 2 of the Final Environmental Assessment (EA), the alternative courses of action evaluated include: (1) No Action and (2) Proposed Project - obstruction removal, property interest acquisition, lowering access road and parking lot, installation of holding position signage and markings, and installation of PAPI's on Runway 14/32. Two additional alternatives were evaluated in the ALP Update completed in July 2002. Alternatives 3 and 4 were designed to bring the airfield to compliance with all FAA design standards and meet the County's present general aviation needs with opportunities to expand to meet future needs of the airpark. Alternatives 3 and 4 from the ALP Update included all projects from Alternative 2 in addition to expanding the apron and auto parking and the construction of both t-hangars and conventional hangars. Alternative 4 was the preferred operational alternative identified by the airport sponsor in the ALP Update. During completion of GAI's five-year Airport Capital Improvement Program it was determined that not all items identified in Alternative 4 could be implemented within a five-year period due to funding limitations.

5. **Assessment.** The potential environmental impacts and possible adverse effects were identified and evaluated in Chapter 4 of the Final EA prepared in June 2006. The Final EA examined the following environmental impact categories: Noise; Compatible Land Use; Social Impacts; Induced Socioeconomic Impacts; Air and Water Quality; U.S. Department of Transportation Act Section 4(f) Land; Historic, Architectural, Archaeological and Cultural Resources; Biotic Communities; Endangered and Threatened Species of Flora and Fauna; Wetlands; Floodplains; Coastal Zone Management; Coastal Barriers; Wild and Scenic Rivers; Farmland; Energy Supply and Natural Resources; Light Emissions; Solid Waste Impacts; Construction Impacts; Hazardous Materials and Cumulative Impacts.

Section A of the Final EA states that the aircraft operations at GAI will remain the same with or without proposed improvements, therefore, there will be no increase in noise impacts. All residential and noise sensitive facilities are located outside the 65 DNL noise contour and will remain outside the 65 DNL noise contour for the proposed project.

Section B and C of the Final EA discloses impacts to nine commercial properties (entire parcels or partial), including the relocation of ten businesses to eliminate obstructions to the Runway 32 approach, primary and transitional surfaces and gain control of the RPZ. The relocated businesses include Property Map Reference Numbers 4, 5, 6, 7 and six units under Number 8 (See Exhibit 4-3 of the Final EA). Portions of three properties (Property Map Reference Numbers 3, 9 and 12) will also be acquired. All acquisitions and relocations would be accomplished in accordance with the Uniform Relocation Assistance Real Property Acquisition Policies Act of 1970. The Maryland-National Capital Park and Planning Commission (M-NCPPC) owns approximately 0.98 acres off the Runway 32 end (Property Map Reference Number 2). The MCRA and M-NCPPC will enter into a Memorandum of Agreement (MOA) to ensure compatible land use for the 0.98 acres which M-NCPPC will continue to own.

Property interest acquisition is also proposed off the Runway 14 end to gain control over the Runway Safety Area, Runway Object Free Area and RPZ. This acquisition would include the partial acquisition of two unimproved properties, Property Map Reference Numbers 10B and 11 (See Exhibit 4-4 of the Final EA). A private landowner owns approximately 3.25 acres (Property Map Reference Number 11) and Montgomery County owns approximately 1.5 acres, which has been designated for park use by M-NCPPC (Property Map Reference Number 10B). Approximately 9.41 acres within the Runway 14 RPZ has also been designated for use by M-NCPPC (Property Map Reference Number 10A). The MCRA and M-NCPPC will enter into a MOA to ensure compatible land use for the 9.41 acres, which M-NCPPC will continue to own.

Section G of the Final EA describes the proposed property interest acquisition to protect the RPZs for both runways. Potential impacts to M-NCPPC property, a 4(f) resource, were evaluated and it was determined that no significant impacts would occur. Approximately 1.5 acres proposed for interest acquisition, located off the Runway 14 end, had been designated for use by M-NCPPC. This property is adjacent to the Lois Y. Green Conservation Park. To complete the transfer of the 1.5 acres, the MCRA will replace the 1.5 acres with land of equal or greater recreational value at the ratio of 2:1. Obstruction (tree) removal is proposed within the threshold siting surface, primary surface, runway object free area (ROFA), Part 77 approach surfaces, and 7:1 transitional surfaces for both Runways 14 and 32. The MCRA and M-NCPPC will enter into a MOA to ensure compatible land use for the 0.98 and 9.41 acres, which M-NCPPC will continue to own. Obstruction (tree) removal to achieve compliance with Part 77 is exempt from the Forest Conservation Act per Section 5-1602(b)(11). However, the M-NCPPC recommends replanting of vegetation appropriate to mitigate for removal of trees.

GAI is located in Montgomery County, an area designated as non-attainment area for ozone and particulate matter as described in Section E of the Final EA. The projected emissions from the proposed project were analyzed and found to be below *de minimis* levels specified in 40 CFR Part 91.153 pursuant to Section 176(c) of the Clean Air Act Amendments of 1990. These emissions are summarized in the table on page 4-23 of the Final EA and are clearly below the *de minimis* levels specified in the federal regulation and are not regionally significant. Therefore, based on this information, the FAA has determined that the Proposed Project is presumed to conform to the State Implementation Plan for the state of Maryland.

As described in Section K of the Final EA the proposed project will impact approximately 0.33 acres of wetlands and would include tree removal but no grubbing or grading. Mitigation will include a 1:1 replacement for impacted wetlands to comply with Maryland Department of Environment (MDE) regulations. A Joint Permit Application has been filed with the MDE and U.S. Army Corps of Engineers for approval.

- 6. Mitigation Measures.** The FAA will require that the Montgomery County Revenue Authority implement the following conservation measures, if they decide to pursue the proposed project:
1. All acquisitions and relocations would be accomplished in accordance with the Uniform Relocation Assistance Real Property Acquisition Policies Act of 1970.
 2. The MCRA and M-NCPPC will enter into a Memorandum of Agreement to ensure compatible land use of the approximately .98 acres off the Runway 32 end and the approximately 9.41 acres off Runway 14 end.
 3. Approximately 1.5 acres proposed for interest acquisition, located off the Runway 14 end, has been designated for use by M-NCPPC. To complete the transfer of the 1.5 acres, the MCRA will replace the 1.5 acres with land of equal or greater recreational value at the ratio of 2:1.
 4. Mitigation for tree removal is required under Montgomery County's Forest Conservation Law. However, obstruction (tree) removal to achieve compliance with Federal Aviation Regulation Part 77, *Objects Affecting Navigable Airspace* are exempt from the Forest Conservation Act per Section 5-1602(b)(11). Due to this exemption, federal funding for tree removal mitigation may be limited.
 5. Approximately 0.33 acres of wetlands would require tree removal. A Joint Permit Application has been filed with the MDE and U.S. Army Corps of Engineers for review and approval. A letter of intent, dated May 16, 2006 was received by MDE and is contained in Appendix H of the Final EA.
 6. MCRA shall prepare an erosion and sedimentation control plan to meet Maryland's Erosion and Sediment Control Guidelines for State and Federal Projects, pursuant to the Environmental Article, Title 4, Subtitle 1, Annotated Code of Maryland and COMAR 26.17.01.
 7. The implementation of Best Management Practices will minimize construction impacts associated with the proposed project.

The EA has been reviewed by the FAA and found to be adequate for the purpose of the proposed Federal action. The FAA has determined that the EA for the proposed project adequately describes the potential impacts of the proposed actions. No new issues surfaced as a result of the public participation process.

7. **Public Participation.** Efforts were made to encourage public participation through the public meeting process as is documented in the Final EA (Appendix J). The Montgomery County Revenue Authority, as owner and operator of GAI held three public meetings. These meetings were held on August 7, 2004, March 23, 2005 and July 20, 2005. Notices announcing these public meetings were published in *The Gazette*, the local newspaper in Montgomery and Frederick Counties, Maryland. The sign-in sheets, project summaries and comments received are included in the EA (Appendix J).
8. **Inter-Agency Coordination.** In accordance with 49 USC 47101(h), FAA has determined that no further coordination with the U.S. Department of Interior or the U.S. Environmental Protection Agency is necessary because the proposed project does not involve construction of a new airport, new runway or major runway extension that has a significant impact on natural resources including fish and wildlife; natural, scenic, and recreational assets; water and air quality; or another factor affecting the environment.
9. **Reasons for the Determination that the Proposed Project will have No Significant Impacts.** The attached Final EA examines each of the various environmental impact categories. The obstruction removal, installation of holding position signage and marking, installation of Precision Approach Path Indicators (PAPIs) and acquisition of approximately 26 acres of land for Runway Protection Zone (RPZ) control would not exceed the threshold of significance as defined in FAA Order 1050.1E. Based on the information contained in the Final EA, the FAA has determined the proposed project (Alternative 2), is most feasible and prudent alternative. FAA has decided to implement the proposed project as described in the attached Final EA.
10. **Finding of No Significant Impact**

I have carefully and thoroughly considered the facts contained in the attached EA. Based on that information I find that the proposed Federal action is consistent with existing national environmental policies and objectives as set forth in section 101(a) of the National Environmental Policy Act of 1969 (NEPA). I also find the proposed Federal Action, with the required mitigation referenced above will not significantly affect the quality of the human environment or otherwise include any condition requiring consultation pursuant to section 102 (2)(C) of NEPA. As a result, FAA will not prepare an EIS for this action.

APPROVED:



Terry J. Page, Manager
Washington Airports District Office

6/26/06

Date

DISAPPROVED:

Terry J. Page, Manager
Washington Airports District Office

Date